

STEWART TITLE

GUARANTY COMPANY

COMMITMENT FOR TITLE INSURANCE

Property Address: 3304 Pineneedle Lane, Louisville, KY 40241

File No.: 3304_PIN VER. 6.26/12.47

SCHEDULE A

There is 1 commitment and property description for this sale.

1. Effective Date 06-08-2026 @ 8:00 am

Examiner: ASK

2. Policy or policies to be issued:

Amount TO BE DETERMINED AT AUCTION

 ALTA OWNER'S POLICY - (2006)

 ALTA Residential Title Insurance Policy - (2006)

Proposed Insured:

PURCHASER TO BE DETERMINED AT AUCTION

3. Title to the fee simple estate or interest in the land described or referred to in this Commitment is at the effective date hereof vested, with right of survivorship, in:

**THE ESTATE OF ETHEL NORMA WEBSTER, deceased,
acting by and through Neil Webster, Executor with power of sale of realty.**

BEING the same property conveyed to Julian C. Webster and Ethel N. Webster, his wife, by General Warranty Deed dated May 24, 1967, of record in Deed Book 4116, Page 300, in the Jefferson County Clerk's Office.

BEING the same property conveyed from Julian C. Webster, married, to Ethel N. Webster, by Deed dated May 8, 1995, of record in Deed Book 6587, Page 927, in the Jefferson County Clerk's Office. Ethel N. Webster died March 21, 2026, see her Will of record in Will Book 869, Page 481, records aforesaid. Neil Webster was appointed Executor with power to sell real estate on April 15, 2026.

4. The land referred to in this commitment is located at 3304 Pineneedle Lane, Louisville, KY 40241 in Jefferson County, Kentucky, and is described as follows:

See Exhibit "A" attached hereto and made a part hereof.

STEWART TITLE
GUARANTY COMPANY

RE: PURCHASER TO BE DETERMINED AT AUCTION
3304 Pineneedle Lane, Louisville, KY 40241

VER. 6.26/12.47 3304_PIN

SCHEDULE B--Section 1
Limitations and Requirements

THIS COMMITMENT IS INTENDED AND ISSUED FOR THE EXCLUSIVE USE OF THE PROPOSED INSURED APPEARING ON PAGE 1.
NO OTHER PERSON IS PERMITTED TO USE OR RELY UPON THIS COMMITMENT.

The following are the requirements to be complied with:

Valid resolution authorizing transaction for any corporate or partnership seller or mortgagor.

Payment to or for the account of the grantors or mortgagors of the full consideration for the estate or interest to be insured.

Payment of the title insurance premium in the amount of \$.

Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record, to wit:

Deed from Neil Webster, Executor of **THE ESTATE OF ETHEL NORMA WEBSTER** in favor of
PURCHASER TO BE DETERMINED AT AUCTION. No other instruments are required in connection with
this title.

Spouse, if any, of each individual having an interest in the property must sign deed.

Pay and release all mortgages and liens of record.

You must inform us in writing the name of anyone not referred to in this Commitment who will receive an interest in the land or who will make a
loan secured by the land. We may impose additional requirements or exceptions relating to the interest or the loan.

STEWART TITLE
GUARANTY COMPANY

REAL ESTATE TAX INFORMATION

Current taxes, even if not yet due and payable, are a **PRIOR LIEN** from the first day of the tax year.

Current taxes due and unpaid, delinquent taxes for prior years and interest, if any, are a **PRIOR LIEN**.

TAX IDENTIFICATION: 21-1529-0035-0000

ASSESSED VALUE: \$304,170.00 less \$49,100 exemption given to current owner (\$255,070 net assessment)

LAST BILL ISSUED: Jefferson County; Original face amount is \$2,846.57 for 2025 (paid the discount of \$2,789.83 on 12-02-25)

All tax bills issued prior to the current year are paid.

STEWART TITLE
GUARANTY COMPANY

RE: PURCHASER TO BE DETERMINED AT AUCTION
3304 Pineneedle Lane, Louisville, KY 40241

VER. 6.26/12.47 3304_PIN

SCHEDULE B--Section 2
Exceptions

NOTE: Any exception contained herein omits any covenant, condition, or restriction based on race, color, religion, sex, handicap, financial status, or national origin as provided in U.S.C. §3604, unless and only to the extent that the covenant (a) is not in violation of state or federal law, (b) is exempt under 42 U.S.C. §3607, or (c) relates to a handicap, but does not discriminate against handicapped people.

Mandatory Non-Deletable Mineral Exception: The policy or policies to be issued will contain the following exception: Exception is taken to minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, uranium, clay, rock, sand and gravel in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records or listed in Schedule B. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.

The policy or policies to be issued will contain exceptions to the following unless the same are disposed of to the satisfaction of the company:

SECTION 2: STANDARD EXCEPTIONS

- a. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for the value of record the estate or interest or mortgage thereon covered by this commitment.
- b. Encroachments, overlaps, boundary line disputes and any other matters which would be disclosed by an accurate survey and/or inspection of the premises.
- c. Easements, claims of easements, not shown by the public records.
- d. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law, and not shown by the public records.
- e. Taxes, or special assessments, whether or not shown as existing liens by the public records.
- f. Rights or claims of parties in possession not shown by the public records.
- g. State, County, and School taxes for the current year are a lien, whether or not now due and payable.

SECTION 2 - CONT'D: ADDITIONAL EXCEPTIONS

1. Lien for unpaid taxes, if any, shown in **Schedule B-1 REAL ESTATE TAX INFORMATION**.
2. Subject to all easements, set-back lines, conditions, and other matters as appear on record plat in **Plat Book 18, Page 97**, in the Office aforesaid.

* * * * * **END OF SCHEDULE B EXCEPTIONS** * * * * *

RE: 3304 Pineneedle Lane, Louisville, KY 40241

ASK Eff. Date 06-08-2026

VER. 6.26/12.47 3304_PIN

EXHIBIT "A"

BEING Lot No. 35 of the Pine Meadows Subdivision, Section 2, a plat of which is of record in **Plat and Subdivision Book 18, Page 97** in the Office of the County Clerk of Jefferson County, Kentucky.

TAX ID NUMBER: 21-1529-0035-0000 (3304 Pineneedle Lane, Louisville, KY 40241)

**BILL MUST BE PRINTED IN PORTRAIT VIEW IN ORDER FOR
PROPER BILL PROCESSING.**

JEFFERSON COUNTY KENTUCKY TAX BILL

Property ID:	Property Owner:	Tax Year:
21152900350000	WEBSTER ETHEL N	2025
Property Location Address:		Invoice Number:
3304 PINENEEDLE LN	3304 PINENEEDLE LN	2252500
Property's Taxable Assessment:	LOUISVILLE KY 40241	Mortgage Company Name:
\$255,070.00		
Gross (Base) Amt: \$2,846.57		
Scan Line: 21 1529 0035 0000 2252500 01 0000000000 0000000000 0000000000		
Homestead Exemption Amount:	\$49,100.00	
Disability Exemption Amount:	\$0.00	
Payment Periods	Amount	If Paid By:
Discount Amount:	\$0.00	
Gross (Base) Amount:	\$0.00	
5% Penalty Amount:	\$0.00	
10% + 10% Penalty Amount:	\$0.00	
Amount Paid:	\$2,789.83	
Paid on: (or refunded/modified)	12/2/2025	
Balance Due:	\$0.00	

Book 06587 0927

DEED

THIS DEED, by and between JULIAN C. WEBSTER, married, 3304 Pine Needle Lane, Louisville, KY 40241, Party of the First Part, and ETHEL N. WEBSTER, spouse of First Party, 3304 Pine Needle Lane, Louisville, KY 40241, Party of the Second Part.

WITNESSETH: That for love, affection, and other valuable consideration, receipt of which is hereby acknowledged, and the parties hereto do hereby certify that there is no cash consideration for this conveyance, but that the fair market value of this conveyance is \$60,050.00, Party of the First Part hereby conveys unto the Second Party all of his right, title, interest, and claim in and to the following described real property situated in Jefferson County, Kentucky, to-wit:

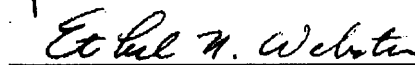
BEING Lot #35 PINE MEADOWS SUBDIVISION SECTION #2
plat of which is of record in Plat and Subdivision
Book 18, page 97, in the Office of the Clerk of the
County Court of Jefferson County, Kentucky.

Being the same property acquired by the parties hereto
by deed dated May 24, 1967, of record in Deed Book 4116
Page 300 in the office of the Clerk aforesaid.

To have and to hold upon the second party, her heirs and assigns
forever.

Party of the Second Part executes this Deed for the sole purpose of
certifying the consideration pursuant to KRS Chapter 382; and IN AFFIRMATION
of this conveyance, witness the signature of the Party of the First Part this
8th day of May, 1995.


JULIAN C. WEBSTER


ETHEL N. WEBSTER

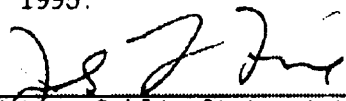
BOOK 06587 0928

COMMONWEALTH OF KENTUCKY)
) SS:
COUNTY OF JEFFERSON)

I, the undersigned, a Notary Public, in and for the State and County aforesaid, do hereby certify that the foregoing instrument was produced before me in said County and acknowledged, sworn to be delivered by Julian C. Webster and Ethel N. Webster, parties hereto, to be their act and deed.

WITNESS my hand this 8th day of May, 1995.

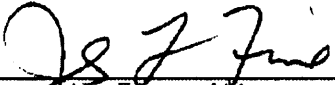
My Commission Expires: December 18, 1995.



Notary Public State at Large
KENTUCKY

NO TITLE EXAM REQUESTED OR PERFORMED

FROCKT & KLINGMAN, LLP



James L. Fine, Attorney
Suite 100, 310 W. Liberty St.
Louisville, KY 40202
(502)582-1645

END OF DOCUMENT

52616
Document No: 1995052616
Lodged By: FROCKT AND KLINGMAN
Recorded On: May 09, 1995 03:19:37 P.M.
Total Fees: \$12.00
Transfer Tax: \$.00
County Clerk: Rebecca Jackson
Deputy Clerk: KATHYL

BOOK 4116 PAGE 300

IN TESTIMONY WHEREOF, witness the signature of the Party of the First Part, this 24th day of May, 1967.

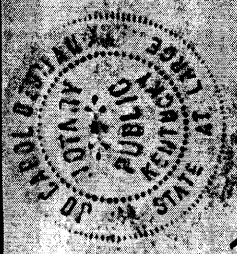
Frank W. Boone

We hereby certify that no stamps are required hereon under the Revenue Act of 1932.

COUNTY OF JEFFERSON)
STATE OF KENTUCKY)

Notary Public

I, A Notary Public, in and for the State and County of the aforesaid, do hereby certify that the foregoing Quit-Claim Deed was this day produced before me by Frank W. Boone, and acknowledged by him to be his voluntary act and deed.



Witness my signature this 24th day of May, 1967.
My Commission expires September 21st 1971.

Carol Sedman
NOTARY PUBLIC

The foregoing Deed was prepared by:

Wilbur Fields, Attorney
1529 Ky. Home Life Bldg.
Louisville, Kentucky 40202

Wilbur Fields
Wilbur Fields

1967 MAY 24 PM 2 27
3 50
ST. LOUIS, MO.

LOCATED BY
AND RECORDED
W. F. Fields
201

THIS DEED made this 24th day of May

1967 between FRANK W. BOONE and MARY LOU BOONE, his wife

of the first part, and WILBUR FIELDS and ETHEL N.

of the second part, for and in consideration of the sum of Five Hundred and no/100 Dollars

to them in hand paid by the said FRANK W. BOONE and MARY LOU BOONE, the receipt of which is

herby acknowledged, and the proper consideration as hereinafter set forth, the parties to the above described deed have agreed that

the said FRANK W. BOONE and MARY LOU BOONE, the said WILBUR FIELDS and

ETHEL N. FIELDS, the said FRANK W. BOONE and MARY LOU BOONE, the said WILBUR FIELDS and

DELIVERED TO

GRANTEE

JUN 8 1967

AND the further consideration the parties of the second part hereby assume and agree to pay according to its terms and tender the unpaid balance due on a mortgage in favor of Avera Building Association of 515 West Market Street, Louisville, Kentucky dated March 5th 1903 and recorded in Mortgage Book 542 page 242 in the original amount of twenty-two thousand five hundred dollars (\$22,500). PROVIDED however, that a proper release of said mortgage shall operate as a full and complete release of any assumption lien retained herein by the first parties to secure the payment of the same by the second parties.

IN TESTIMONY WHEREOF witness the signature of the parties

James R. Merritt
JAMES R. MERRITT

Mary Lou Merritt
MARY LOU MERRITT

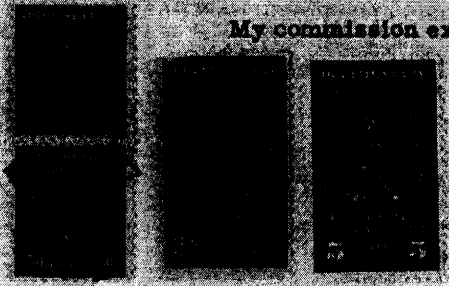
I, a Notary Public, within and for the State and County aforesaid,
do hereby certify that the foregoing instrument was this day produced to me.

BOOK 4116 PAGE 302

Witness my signature this 24TH day of MAY

1967.

My commission expires OCTOBER 9, 1968



Bernard E. Frick
NOTARY PUBLIC
STATE - AT - LARGE
Jefferson County, Kentucky

I certify that this instrument was prepared by
James R. Merritt, Attorney at Law
1729 South Third Street, Louisville, Ky. 40208

James R. Merritt

205
RECORDED
MAY 24 PM 2 41
350

BOOK 4116 PAGE 302

JUN 15 1967

THIS DEED made and entered into by and between ARLON R. BROWN and SHARON K. BROWN, his wife, parties of the first part, and JOSEPH J. LORD AND JOYCE SUE LORD, his wife, parties of the second part, of 5201 Milner Road, Louisville, Jefferson County, Kentucky;

WITNESSETH:

That for a valuable consideration paid, receipt of which is hereby acknowledged, and the further consideration that the second parties assume and agree to pay the balance due on a mortgage in favor of LACLEDE BOND & MORTGAGE COMPANY, in the original principal sum of \$14,000.00, dated November 22, 1965, as recorded in Mortgage Book 623, Page 361, in the office of the Clerk of the County Court of Jefferson County, Kentucky, and assigned to KENTUCKY EMPLOYERS RETIREMENT SYSTEM OF COMMONWEALTH OF KENTUCKY, provided that the releasing of said mortgage shall have the effect of releasing any lien herein retained to secure its payment.

The parties of the first part hereby convey unto the parties of the second part, for their use and benefit, in fee simple to the survivor of them and their heirs, the following described property located in



David Yates
Jefferson County Clerk's Office

As evidenced by the instrument number shown below, this document
has been recorded as a permanent record in the archives of the
Jefferson County Clerk's Office.



INST # 2026053855

BATCH # 673388

JEFFERSON CO, KY FEE \$61.00

PRESENTED ON: 05-11-2026 6 01:46:42 PM

LODGED BY: EMILY MOORE

RECORDED: 05-11-2026 01:46:42 PM

DAVID YATES

CLERK

BY: LESLIE ROWE

LEGAL RECORDS CLERK

BK: W 869

PG: 481-491

LAST WILL AND TESTAMENT

OF

ETHEL NORMA WEBSTER

I, **ETHEL NORMA WEBSTER**, a resident of and domiciled in Louisville, Jefferson County, Kentucky, do make, publish, and declare this to be my Last Will and Testament, hereby revoking all Wills and Codicils heretofore made by me.

ARTICLE I.

Payment of Debts

I direct my Executor to pay from my residuary estate all of my legally enforceable debts, expenses of my last illness, my funeral and burial expenses, including the cost of a suitable monument at my grave, and the cost of administration of my estate, as soon as practicable after my death, except that any debt or expense secured by a mortgage on real property owned by me at the time of my death shall not be paid by my estate. Any real property distributed hereunder shall pass subject to any mortgage thereon.

ARTICLE II.

Disposition of Tangible Personal Property

I give and bequeath all my tangible personal property and household effects of every kind, including but not limited to furniture, appliances, furnishings, pictures, silverware, china, glass, books, jewelry, wearing apparel, boats, automobiles, and other vehicles (hereinafter in this Article referred to collectively as "Personal Property"), but specifically excluding cash on hand, cash in bank accounts, insurance proceeds, closely held business interests, stocks and bonds, and all other intangible personal property, according to the terms of a handwritten memorandum, which may be dated subsequent to this Last Will and Testament and which I may leave in existence at the time of my death. I request that such terms apply to the disposition of the Personal Property described therein. I understand, however, that my Executor may not be legally bound to make the distributions set forth in such memorandum, I nevertheless request that the directions contained in same be honored. Any Personal Property given and bequeathed to a beneficiary who is not living at the time of my death and for whom no effective alternate provision has been made shall pass as otherwise provided herein as if such memorandum did not exist. If no such memorandum is found or identified by my Executor within thirty (30) days after my Executor's qualification, or if any such memorandum is deemed unenforceable or is not respected, then it shall be conclusively presumed that there is no such memorandum.

In default of such memorandum, or to the extent my Executor does not completely or effectively dispose of all my Personal Property pursuant to such memorandum, I give and bequeath such remaining Personal Property to my children, as shall survive me, to be divided between them by my Executor according to my children's personal preferences. If my children cannot reach a total and unequivocal agreement between themselves as to the distribution of such Personal Property or if none of my children survive me, then I direct my

Executor to sell my Personal Property and to distribute the proceeds as part of my residuary estate.

ARTICLE III.

Disposition of Residuary Estate

All the rest, residue, and remainder of the property which I may own at the time of my death, real, personal and mixed, tangible and intangible, of whatsoever nature and wheresoever situated, including all property which I may acquire or become entitled to after the execution of this Last Will and Testament, including all lapsed legacies, devises, or other gifts made by this Last Will and Testament which fail for any reason, I direct to be distributed to that certain Revocable Living Trust between **ETHEL NORMA WEBSTER**, as Settlor, and **NEIL A. WEBSTER**, as Trustee, executed prior to this Last Will and Testament on the 10th day of May, 2019, and known as the **ETHEL NORMA WEBSTER REVOCABLE LIVING TRUST**, to be held and distributed pursuant to the terms provided therein. The Trustee shall add the property bequeathed and devised to the Trustee by this Article to the principal of the above-described Trust and shall hold, administer, and distribute said property in accordance with the provisions of said Trust Agreement. Should such Trust be determined to be unenforceable or otherwise not in effect for whatever reason, then I incorporate herein by reference the terms thereof, and direct such terms apply to the disposition of the aforementioned rest, residue, and remainder of my property as if fully set out herein.

ARTICLE IV.

Appointment of Executor

I nominate, constitute, and appoint my son, **NEIL A. WEBSTER**, as Executor of my Last Will and Testament. If for any reason my Executor is unable or unwilling to serve or continue to serve, then I nominate, constitute, and appoint my son, **CARL T. WEBSTER**, as substitute or successor Executor.

I direct that no bond, or if required, no surety be required on the bond of any natural person serving in such capacity hereunder. Any substitute or successor Executor shall succeed as Executor as though originally identified as the Executor under this Last Will and Testament. All authority, powers, and discretions conferred on the original Executor under this Last Will and Testament shall pass to any successor Executor. No successor Executor shall be responsible for the acts or omissions of any prior Executor, nor shall any successor Executor be under a duty to audit or investigate the accounts or administration of any prior Executor. Unless requested in writing by a beneficiary of this Last Will and Testament, no successor Executor shall have any duty to take any action to obtain redress for any breach of fiduciary duties committed by any prior Executor.

ARTICLE V.

Executor Powers

In addition to all those powers granted by Section 395.195 of the Kentucky Revised Statutes and other Kentucky statutory provisions relating thereto, my Executor is specifically authorized and empowered with respect to any property, real or personal, at any time held under any provision of my Last Will and Testament: to allot, allocate between principal and income, assign, borrow, buy, care for, collect, compromise claims, contract with respect to,

continue any business of mine, sell, convey, convert, deal with, dispose of, enter into, exchange, hold, improve, incorporate any business of mine, invest, lease, manage, mortgage, grant and exercise options with respect to, take possession of, pledge, receive, release, repair, sue for, make distributions or divisions in cash or in kind or partly in each without regard to the income tax basis of such asset and, in general, to exercise all of the powers in the management of my estate which any individual could exercise in the management of similar property owned in its own right, upon such terms and conditions as my Executor may deem best, to execute and deliver any and all instruments, and to do all acts which my Executor may deem proper or necessary to carry out the purposes of this Last Will and Testament, without being limited in any way by the specific grants of power made, and without the necessity of a court order.

ARTICLE VI.

Payment of Taxes

I direct that all estate, inheritance, succession, death, or similar taxes (except generation-skipping taxes) assessed with respect to my estate be paid in accordance with the terms set forth in my revocable living trust, known as the **ETHEL NORMA WEBSTER REVOCABLE LIVING TRUST**, dated the 10TH day of MAY, 2019. Should such Trust be determined to be unenforceable or otherwise not in effect for whatever reason, then I incorporate herein by reference the terms thereof, and direct such terms apply to the disposition of the aforementioned rest, residue, and remainder of my property as if fully set out herein.

ARTICLE VII.

Miscellaneous

A. The term "my children" as used herein shall refer only to **CARL T. WEBSTER, CRAIG A. WEBSTER, NEIL A. WEBSTER, and ROBERTA L. CASPER.**

B. All references to the term "issue" as used herein shall refer only to my children and their issue, including any issue born or legally adopted subsequent to the execution of this Last Will and Testament.

C. The article headings herein are inserted only as a matter of convenience and for reference, and shall in no way be construed to define, limit, or describe the scope or intent of any provisions contained in this Last Will and Testament, nor in any way affect this Last Will and Testament.

D. All references herein to the "Code" are to the *Internal Revenue Code of 1986*, as amended.

E. For purposes of this Last Will and Testament, words in any gender shall include all genders, and words in the singular shall include the plural and vice versa, in each case unless the context otherwise requires.

F. My Executor shall not be personally liable for withholding an insufficient amount as a setoff against the liability of a recipient or for failing to recover attributable taxes or interest following reasonable efforts, and shall not be required to litigate to enforce apportionment unless indemnified against the costs thereof.

G. My Executor's selection of assets to be sold to pay death taxes, if any, and the tax effects thereof, shall not be subject to question by any beneficiary. My Executor is hereby indemnified against any liability it may incur to any recipient of property not passing under this Last Will and Testament for the effect of any action taken in the computation or payment of death taxes that directly or indirectly affects any recipient's liability under this provision. Elections or allocations authorized under the Code may be made by my Executor in its discretion without regard to or liability for the effect thereof on any beneficiary. No adjustment shall be made between income and principal, in the relative interests of the recipients, or in the amount or selection of assets allocated to any beneficiary under this will, to compensate for the effect of any such action or for the effect on the amount of any tax attributable to any recipient of property includible in my estate for death tax purposes.

[Signature Page Follows]

I, **ETHEL NORMA WEBSTER**, the Testator, sign my name to this instrument this the 10th day of May, 2019, and being first duly sworn, do hereby declare to the undersigned authority that I sign and execute this instrument as my Last Will and Testament, that I sign it willingly (or willingly direct another to sign for me), that I execute it as my free and voluntary act for the purposes therein expressed, and that I am eighteen (18) years of age or older, of sound mind, and under no constraint or undue influence.

Ethel N. Webster
ETHEL NORMA WEBSTER, Testator

We, Beverly Rodriguez and Tucker Hargrove, the witnesses, sign our names to this instrument on this the 10th day of May, 2019, and being first duly sworn, do hereby declare to the undersigned authority that the Testator signs and executes this instrument as the Testator's Last Will and Testament and that the Testator signs it willingly (or willingly directs another to sign for the Testator), and that each of us, in the presence and hearing of the Testator and in the presence of the other subscribing witness, hereby signs this Last Will and Testament as witness to the Testator's signing, and that to the best of our knowledge, the Testator is eighteen (18) years of age or older, of sound mind, and under no constraint or undue influence.

Beverly Rodriguez
 Witness Signature

Beverly Rodriguez
 Print Name of Witness

Louisville, Ky
 Address

502 599 2849
 Telephone Number

Tucker Hargrove
 Witness Signature

Tucker Hargrove
 Print Name of Witness

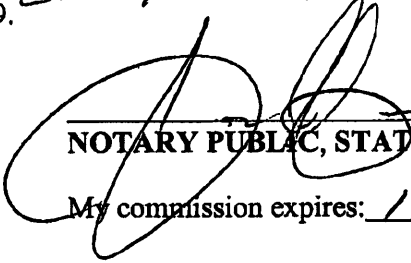
Louisville, Ky
 Address

859-433-2131
 Telephone Number

COMMONWEALTH OF KENTUCKY)
) SS
COUNTY OF JEFFERSON)

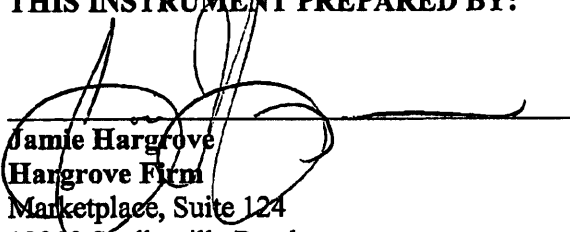
Subscribed, sworn to, and acknowledged before me by **ETHEL NORMA WEBSTER**, the Testator, and subscribed and sworn to before me by Trika HARGROVE and Bruce Rodriguez, as Witnesses, this the 10th day of May, 2019.

(SEAL)


NOTARY PUBLIC, STATE AT LARGE, KY

My commission expires: 10-19-2020

THIS INSTRUMENT PREPARED BY:


Jamie Hargrove
Hargrove Firm
Marketplace, Suite 124
12910 Shelbyville Road
Louisville, Kentucky 40243
(502)-526-5868

00380697.DOCX

Filed

26-P-001360 03/28/2026

David L. Nicholson, Jefferson Circuit Clerk

AOC-805 Rev. 12-25 Page 1 of 3 Commonwealth of Kentucky Court of Justice www.kycourts.gov KRS 394.145; 395.015; 395.016; 395.130	Doc. Code: PPW; PWF; or PAF	 PETITION FOR PROBATE OF WILL; AND/OR APPOINTMENT OF EXECUTOR/ADMINISTRATOR	Case No. _____ Court _____ County _____ Division _____
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IN RE: Estate of ETHEL WEBSTER

(Name of Decedent)

Address: 3304 PINENEEDLE LANE
LOUISVILLE KY 40242

Date of Death: 3/21/2026
 Date of Birth*: 1/30/1923
 SSN* _____

PETITION FOR (check one)

☐ A. PROBATE OF WILL
☒ B. PROBATE OF WILL AND APPOINTMENT OF EXECUTOR/ADMINISTRATOR
☐ C. APPOINTMENT OF ADMINISTRATOR (NO WILL)

Comes Petitioner, NEIL A. WEBSTER, and states as follows:

- Decedent died (check one) ☒ testate (with a Will) ☐ Intestate (without a Will) with residence at the above address and on the above date.
- There has been no previous administration in Decedent's estate in Kentucky or elsewhere.
- The names of the surviving spouse, heirs at law and next of kin known to Petitioner are as follows: (Note: If Petitioner is the executor named in the Will, only the surviving spouse, if applicable, must be provided below.)

Name: CARL T. WEBSTER Relation: SON Age: 76
 Address: 14311 N. SKY TRAIL
ORO VALLEY. AZ 85755

Name: CRAIG A. WEBSTER Relation: SON Age: 75
 Address: 1954 CARDINAL LANE
POULSBO. WA 98370

Name: NEIL A. WEBSTER Relation: SON Age: 74
 Address: 107 REST COTTAGE LANE
LOUISVILLE KY 40056

Name: ROBERTA CASPER Relation: DAUGHTER Age: 72
 Address: 157 OLDE ERIE TRAIL
ROCHESTER, NY 14626

WILL Book 869 Page 489

Filed

26-P-001360 03/28/2026

David L. Nicholson, Jefferson Circuit Clerk

AOC-805
Rev. 12-25
Page 2 of 3

4. Decedent owned/had interest in the following real estate with estimated market values as noted: (Note: Include only real estate that is part of Decedent's estate.)

3304 PINENEEDLE LANE LOUISVILLE KY 40242

Estimated Total: \$ 350,000

5. Decedent owned/had interest in the following personal property with estimated market values as noted:

WELLS FARGO BROCKERAGE (\$1,250,000.00); PNC CHECKING (\$57,000.00); CHRYSLER pt CRUISER (\$4,000)

Estimated Total: \$ 1,311,000

6. Petitioner is indebted to or owes Decedent \$0.

7. (Check if Box A. or B. is checked on page 1.) ☒ Petitioner applies for probate of Decedent's Will, (check one) ☐ original offered this date ☒ will be offered without delay, which is his/her Last Will and Testament.

8. (Check and complete if Box B. or C. is checked on page 1.) ☒ Petitioner prays NEIL A. WEBSTER

_____, whose address is 107 REST COTTAGE LANE

PEWEE VALLEY, KY 40056

be appointed (check one) ☒ Executor/Administrator of the offered Will ☐ Administrator of Decedent's estate.

(Check if applicable) ☐ The person to be appointed Executor/Administrator is a nonresident of this state and designates

_____, a resident of this county, residing at _____

_____ as his/her agent for the service of process in any action filed against him/her as executor/administrator or personally, provided that such personal action accrued in the administration of the estate.

9. (Check and complete if Box B. or C. is checked on page 1.) ☒ Petitioner prays a bond in the amount of \$2,000,000.00 be approved, and:

☒ Surety is not required by the terms of the offered Will or by waiver filed this date.

OR

☐ Petitioner offers as surety on the bond the following:

Name/Address of Surety: _____

Name/Address of Surety: _____

Presiding Judge: HON. YVETTE DE LA GUARDIA (730077)

PWF : 000002 of 000003

Filed

26-P-001360 03/28/2026

David L. Nicholson, Jefferson Circuit Clerk

WILL Book 869 Page 490

Filed

26-P-001360 03/28/2026

David L. Nicholson, Jefferson Circuit Clerk

AOC-805
Rev. 12-25
Page 3 of 3

Petitioner verifies the above statements are true and correct to the best of his/her knowledge.

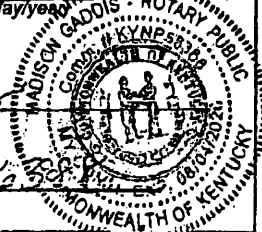
Petitioner's Signature: Neil Webster Phone No.: 502-445-5295

Name (Printed): NEIL A. WEBSTER

Address: 107 REST COTTAGE LANE PEWEE VALLEY, KY 40056

Email: _____

Subscribed and sworn to before me by <u>Madison Gaddis</u> on <u>March 27, 2026</u> in the county
of <u>Jefferson</u> <u>Kentucky</u>
(county) (state)
<u>Madison Gaddis</u>
Name/Title
For Notaries: My commission expires: <u>August 4, 2026</u> My notary ID number is: <u>5638</u>



Complete if Petitioner is represented by counsel:

I certify this Petition was prepared or subscribed by the undersigned in accordance with CR 11.

[Signature]
Attorney for Petitioner

12910 Shelbyville Road, Louisville, KY 40243
502-432-3675
Address and Phone No.

*Note to filer: Personal data (social security number, birth date, financial-account number) must be redacted pursuant to CR 7.03. Instructions on redaction can be found at www.kycourts.gov.

Presiding Judge: HON. YVETTE DE LA GUARDIA (730077)

PWF : 000003 of 000003

Filed

26-P-001360 03/28/2026

David L. Nicholson, Jefferson Circuit Clerk

WILL Book 869 Page 491

Entered

26-P-001360

04/16/2026

David L. Nicholson, Jefferson Circuit Clerk

AOC-805.1 Doc. Code: OPW
Rev. 12-25 OWF
Page 1 of 1
Commonwealth of Kentucky
Court of Justice www.kycourts.gov
KRS 394.145; 395.005; 395.015;
395.016; 395.040; 395.050; 395.610



**ORDER PROBATING WILL;
OR PROBATING WILL AND APPOINTING
EXECUTOR/ADMINISTRATOR**

Case No. _____
Court PROBATE
County Jefferson 
Division DISTRICT

IN RE: Estate of ETHEL WEBSTER

Date of Death: 3/21/2026 Date of Birth (year): xx-xx-1923 SSN (last four): _____

The Petition for (check all that apply) ☒ probate of the Will of the above-named Decedent ☒ appointment of an Executor/Administrator came on for hearing before this Court on 4/15/26. The Will was offered in open court and was (check one) ☒ self-proved under KRS 394.225 OR ☐ proved by _____. (Check if applicable) ☐ Inquiry was made as to the qualifications of the Executor/Administrator sought to be appointed. Based on the foregoing and the Court being otherwise sufficiently advised;

IT IS THEREFORE ORDERED:

- The Will be, and it is, hereby admitted to probate as the Last Will and Testament of Decedent.
- ☒ The Court appoints NEIL WEBSTER as ☒ Executor OR ☐ Administrator with Will annexed of Decedent's Will. (Check if Executor/Administrator is a nonresident) ☐ The Court designates _____, whose address is _____, as agent for the service of process in any action filed against him/her as executor/administrator or personally if the action accrued in the administration of the estate.
- ☒ The Court approves bond in the sum of \$2,000,000.00 (check one) ☒ without surety OR ☐ with surety(ies) as named in the Petition OR ☐ with surety(ies) as noted below:
Name/Address of Surety: _____
Name/Address of Surety: _____
- No later than two months from appointment, the Executor/Administrator shall file an inventory of Decedent's estate with the circuit court clerk's office.
- Unless final settlement has been made, no later than two years from appointment and yearly thereafter, the Executor/Administrator shall file with the clerk a periodic account of the execution of the Will, including in the account an itemized statement of receipts and disbursements supported by vouchers accompanying the account and a statement of all investments on hand and changes in investments since the filing of the last account.

**CERTIFIED COPY OF RECORD
OF JEFFERSON DISTRICT COURT**

DAVID L. NICHOLSON, CLERK

BY KJB Date _____ D.C.

Distribution: ☐ Court File
☐ Revenue Cabinet (Petition and Order)
☐ County Clerk (with Original Will)

Entered

26-P-001360

04/16/2026
Print Form

 Karen Faulkner
/s/ JUDGE KAREN FAULKNER
electronically signed
4/16/2025 9:22:13 PM ET

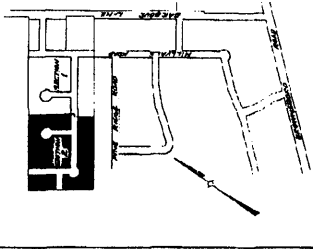
Judge's Signature

David L. Nicholson, Jefferson Circuit Clerk
Reset Form

END OF DOCUMENT

00 : 000001 of 000001

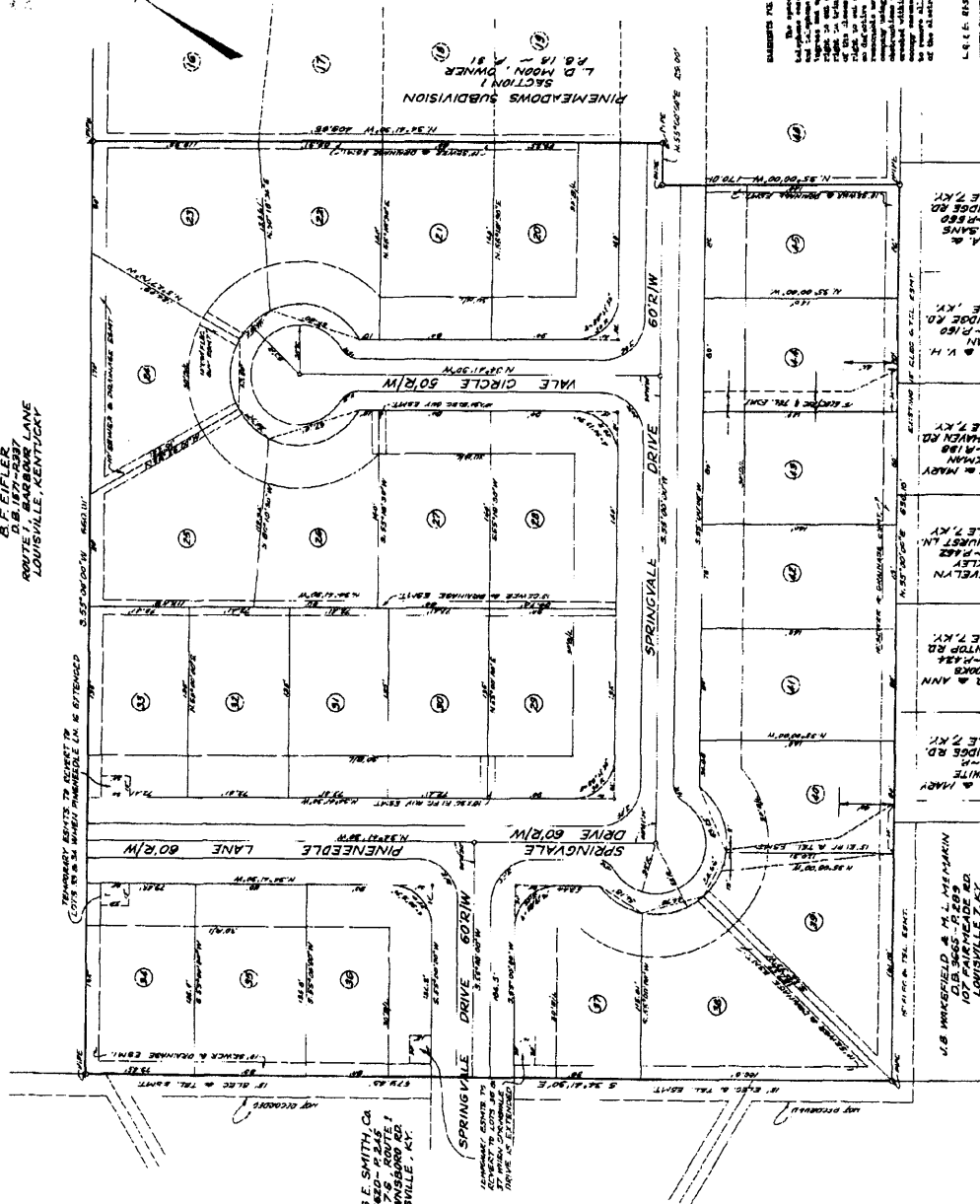
LOCATION MAP
SCALE 1"=500'



Recorded in Pin Home

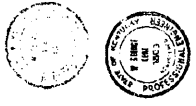
B. F. EUFLE
ROUTE 1, BARBOUR LANE
LOUISVILLE, KENTUCKY

TEMPORARY RIGHTS TO CONVEY TO
LOUISIANA STATE HIGHWAY IN RE EXTENDED



JAMES E. SMITH, JR.
P.B. 3620 - P. 245
B.B. 3620 - P. 245
B.B. 3620 - P. 245
LOUISVILLE, KY

SPRING VALLEY ESTATES
RECORDED IN P.M. 11-18-60
(NOT RECORDED AS OF 5-18-61)



PLANNING CERTIFICATE
I, B. F. EUFLE, do hereby certify that the above described plat was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Kentucky.

CERTIFICATE OF SUBDIVISION
I, B. F. EUFLE, do hereby certify that the above described plat was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Kentucky.

CERTIFICATE OF APPROVAL
Approved this 11th day of June, 1960.

LOUISIANA STATE ENGINEERING BOARD
PLANNING AND DESIGN DIVISION
DIVISION

CERTIFICATE OF APPROVAL AND LOCATION
This is to certify that the above described plat was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Kentucky.

LOUISIANA STATE ENGINEERING BOARD
PLANNING AND DESIGN DIVISION
DIVISION

APPROVED FOR THE STATE OF KENTUCKY
BY THE ENGINEERING BOARD

STATE OF KENTUCKY
ENGINEERING BOARD

STATE OF KENTUCKY
ENGINEERING BOARD

PINEMEADOWS SUBDIVISION SECTION
PLAT BOOK

GLENN, EDWARD ENTERPRISES, INC.
THE KENTUCKY ENGINEERING BOARD
DIVISION

STATE OF KENTUCKY
ENGINEERING BOARD

STATE OF KENTUCKY
ENGINEERING BOARD

STATE OF KENTUCKY
ENGINEERING BOARD