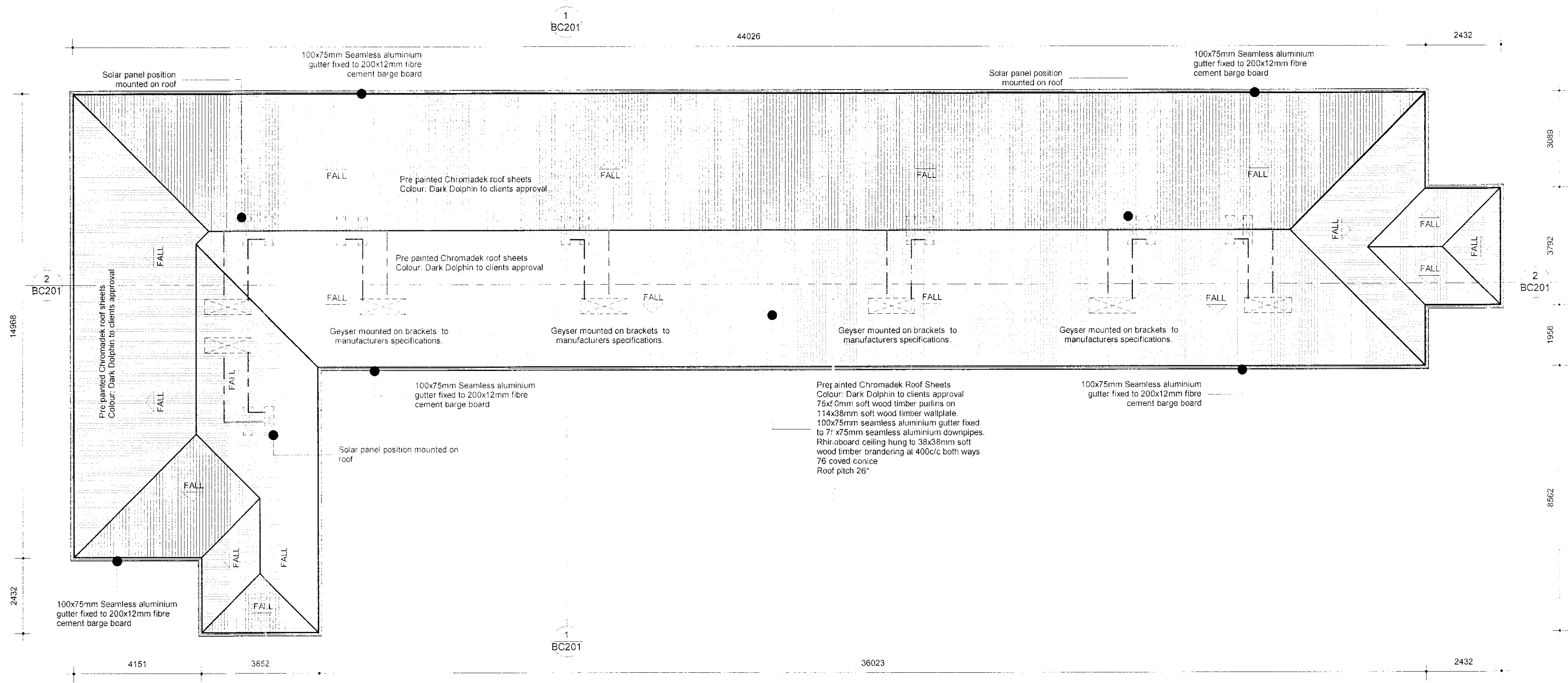
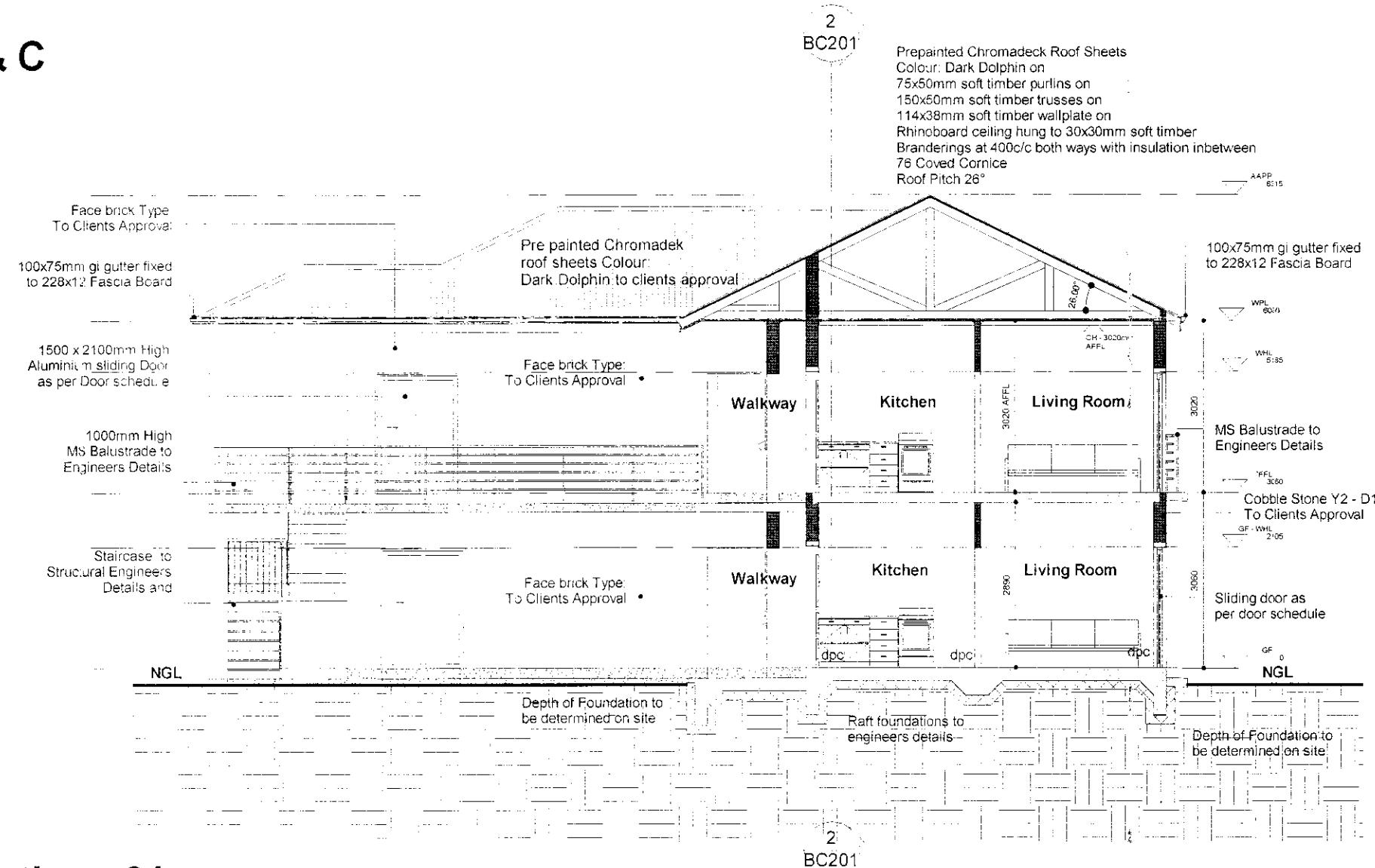
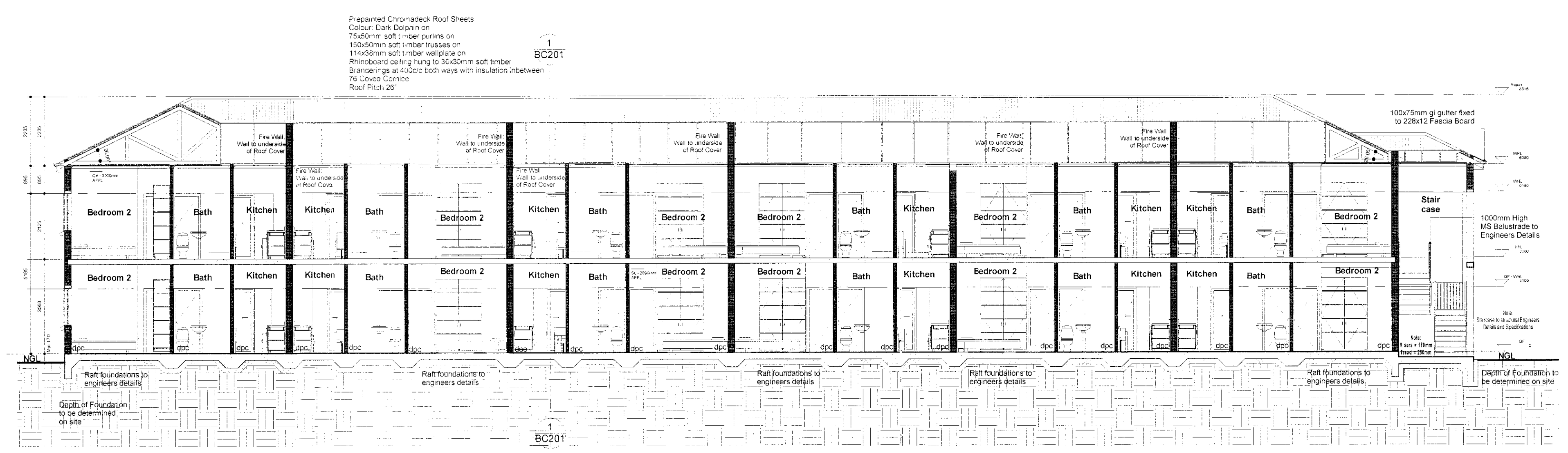




Roof Plan - Block B & C
Scale 1 : 100



Section - 01
Scale 1 : 100



Section - 02
Scale 1 : 100

- GENERAL NOTES**
1. THIS DRAWING IS NOT TO BE SCALED. USE FIGURED DIMENSIONS TO PREVAL.
 2. ALL RELEVANT DETAILS, LEVELS & DIMENSIONS MUST BE CHECKED ON SITE BEFORE ANY WORK IS PUT AT HAND. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
 3. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR DIMENSIONAL ERRORS IF NOT NOTIFIED AT THE TIME OF SETTING OUT & ERRORS RESULTING FROM MISINTERPRETATION OF DRAWINGS.
 4. ENSURE THAT NO UNAUTHORISED PERSONS ENTER THE BUILDING SITE AT ANY TIME. KEEP A LOG BOOK OF VISITORS ON SITE.
 5. A SITE INSTRUCTION BOOK AND ACTION PLAN TO BE KEPT ON SITE AND BE AVAILABLE TO ARCHITECTS AND ENGINEERS AT ALL TIMES.
 6. A FULL SET OF THE LATEST DRAWINGS ARE TO BE KEPT AND MAINTAINED ON SITE FOR REFERENCE USE.
 7. ALL WORK TO COMPLY WITH NBR AND BUILDING STANDARDS - ACT No. 103 OF 1977 SABS 0400-1000.
 8. ALL WORK TO COMPLY WITH MUNICIPAL BY LAWS, REGULATIONS AND INSPECTION REQUIREMENTS.
 9. GLAZING TO BE SABS 0137.
GLASS THICKNESS:
0.75m sq PANE 3mm MINIMUM
0.75m sq - 1.50m sq PANE 4mm MINIMUM
1.50m sq - 2.10m sq PANE 5mm MINIMUM
2.10m sq PANE 6mm MINIMUM
 10. CONTRACTOR TO COMPLY WITH OCCUPATIONAL HEALTH AND SAFETY ACT, 1993 (Act No. 95 of 1993).
 11. WINDOWS TO BE MIN 10% OF FLOOR AREA.
 12. NATURAL VENTILATION TO BE MIN 5% OF FLOOR AREA.
 13. ALL R.C. AND STEEL STRUCTURES, STAIRS, LOADING BRICKWORK, STRUCTURAL CONNECTIONS, STEEL BALUSTRADES, THE ROOF STRUCTURE AND RAFTS TO STEEL OR BRICK STRUCTURES TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DETAILS, SPECIFICATION AND DRAWINGS.
 14. ALL BRICKWORK TO BE REINFORCED ACCORDING TO STRUCTURAL ENGINEER'S SPECIFICATIONS.
- FIRE PROTECTION**
15. ALL WORK TO COMPLY WITH ACT No. 103 OF 1977 AND SABS 0400-1000.
- DRAINAGE**
16. OCCUPANCY CLASSIFICATION A2.
 17. ALL FITTINGS TO BE TRAPPED IN ACCORDANCE WITH N.B.R.
 18. ALL BENDS & JUNCTIONS IN DRAINS & SEWERS TO BE FITTED WITH RE'S.
 19. RE'S TO HAVE MARKED COVERS AT GROUND LEVEL.
 20. CHEMICAL TOILETS TO BE USED DURING CONSTRUCTION.
 21. ASVP's TO WCs WITH A VERTICAL DISCHARGE OF MORE THAN 1.2m.
 22. WASTE PIPES TO BE ACCESSIBLE ALONG ENTIRE LENGTH.

CONSULTANTS

consultants
Quantity Surveyor
consultants
Structural Engineer
consultants
Civil Engineer
consultants
Electrical Engineer
consultants
Mechanical Engineer

REVISIONS

NO	Description	Date
A	REVIS FOR INFORMATION	24-11-2015

SCHEDULE OF AREAS

BLOCK A GF	420 SQM
BLOCK A FF	404 SQM
TOTAL	833 SQM

REFER TO SITE PLAN FOR SCHEDULE OF RIGHTS

SOFTWARE	REVIT	Paper Type
		A1

KEY PLAN

BLOCK B&C

CLIENT
FV TRADING ENTERPRISES

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT Erf 193 DUNCANVILLE, VAAL

DRAWING
SECTIONS
ROOF STOREY

Precinct
Architecture + Interiors
1st Floor, Oxford Road, Hyde Lane Office Park,
Cnr Jan Smuts / William Nicoll, Hyde Park, 2199
Phone: 011 784 2333 Fax: 011 281 8810
Email: admin@precinct.co.za
Website: www.precinct.co.za

SIGNED *[Signature]* ARCHITECT

Aimé Kubwimana PrEng
Civil & Structural Engineer
Reg. No. 20070286 ENGINEER
P.O. Box 11275, Centurion, 0046

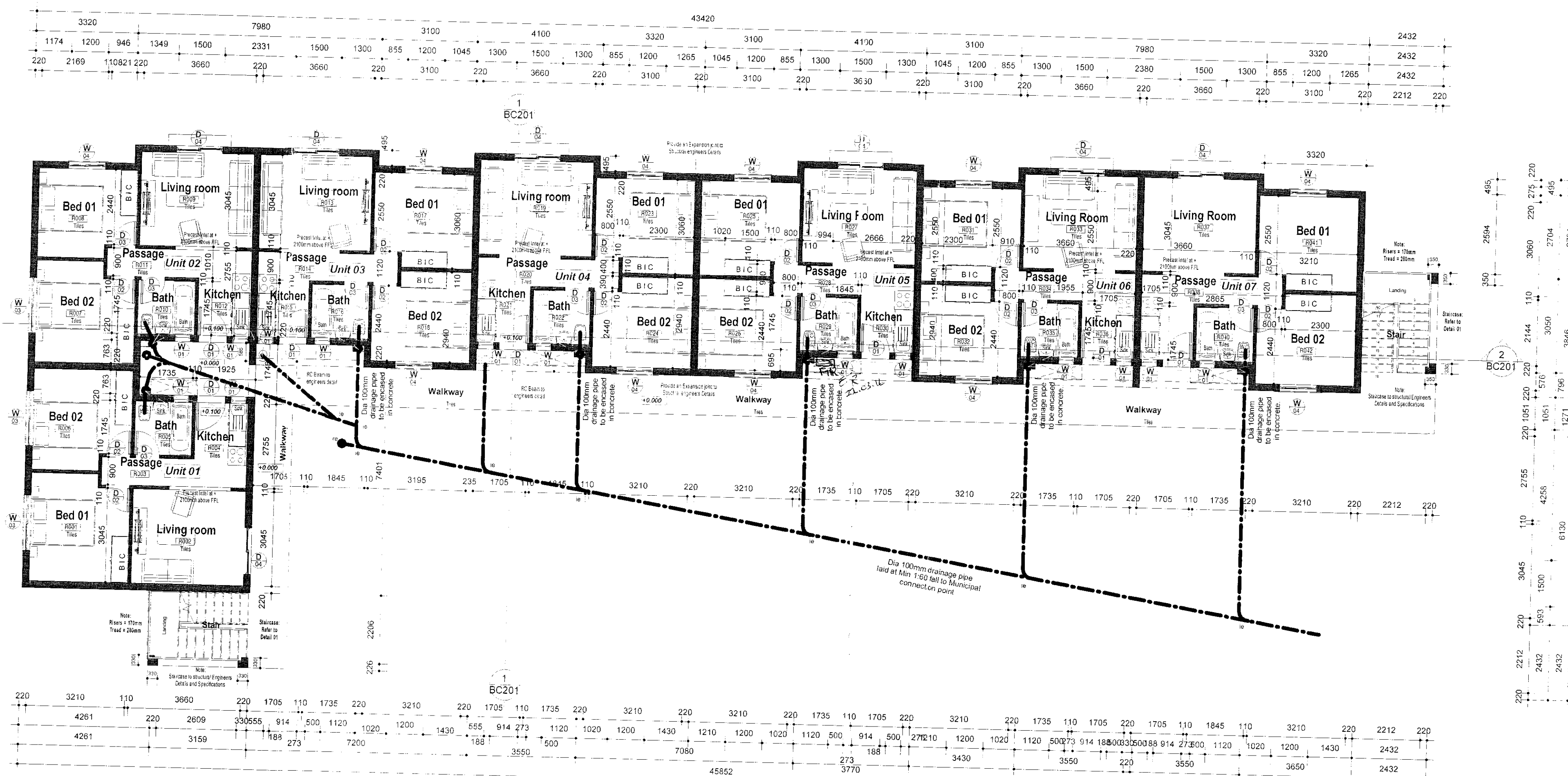
SIGNED *[Signature]* OWNER

SACAP NO. Pro. Arch. 7226

DRAWN	DESIGNER	CHECKED	OWNER
DATE	11/11/15	SCALE	1:100
DRAWING NUMBER	BC201	PROJECT NUMBER	2015-13
		REV	A



FFL - Block B & C
Scale 1 : 100



GF Block B & C
Scale 1 : 100

GENERAL NOTES

- 1- THIS DRAWING IS NOT TO BE SCALED. USE FIGURED DIMENSIONS TO PREVAL.
- 2- ALL RELEVANT DETAILS, LEVELS & DIMENSIONS MUST BE CHECKED ON SITE BEFORE ANY WORK IS PUT AT HAND. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- 3- THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR DIMENSIONAL ERRORS IF NOT NOTIFIED AT THE TIME OF SETTING OUT & ERRORS RESULTING FROM MISINTERPRETATION OF DRAWINGS.
- 4- ENSURE THAT NO UNAUTHORISED PERSONS ENTER THE BUILDING SITE AT ANY TIME. KEEP A LOG BOOK OF VISITORS ON SITE.
- 5- A SITE INSTRUCTION BOOK AND ACTION PLAN TO BE KEPT ON SITE AND BE AVAILABLE TO ARCHITECTS AND ENGINEERS AT ALL TIMES.
- 6- A FULL SET OF THE LATEST DRAWINGS ARE TO BE KEPT AND MAINTAINED ON SITE FOR REFERENCE USE.
- 7- ALL WORK TO COMPLY WITH NBR AND BUILDING STANDARDS - ACT No. 103 OF 1977 SABS 0400-1900.
- 8- ALL WORK TO COMPLY WITH MUNICIPALITY LAWS, REGULATIONS AND INSPECTION REQUIREMENTS.
- 9- GLAZING TO BE SABS 0137.
GLASS THICKNESS
- 0.75m sq PANE 3mm MINIMUM
- 0.75m sq - 1.50m sq PANE 4mm MINIMUM
- 1.50m sq - 2.10m sq PANE 5mm MINIMUM
- 2.10m sq PANE 6mm MINIMUM
- 10- CONTRACTOR TO COMPLY WITH OCCUPATIONAL HEALTH AND SAFETY ACT, 1993 (Act No. 85 of 1993).
- 11- WINDOWS TO BE MIN 10% OF FLOOR AREA.
- 12- NATURAL VENTILATION TO BE MIN 5% OF FLOOR AREA.
- 13- ALL R.C. AND STEEL STRUCTURES, STAIRS, LOADING BRICKWORK STRUCTURAL CONNECTIONS, STEEL BALUSTRADES, THE ROOF STRUCTURE AND RAILS TO STEEL OR BRICK STRUCTURES TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DETAILS, SPECIFICATION AND DRAWINGS.
- 14- ALL BRICKWORK TO BE REINFORCED ACCORDING TO STRUCTURAL ENGINEER'S SPECIFICATIONS.

FIRE PROTECTION

- 15- ALL WORK TO COMPLY WITH ACT No. 103 OF 1977 AND SABS 0400-1900.

DRAINAGE

- 1- ALL FITTINGS TO BE TRAPPED IN ACCORDANCE WITH N.B.R.
- 2- ALL BENDS & JUNCTIONS IN DRAINS & SEWERS TO BE FITTED WITH RE'S.
- 3- RE'S TO HAVE MARKED COVERS AT GROUND LEVEL.
- 4- CHEMICAL TOILETS TO BE USED DURING CONSTRUCTION.
- 5- ASPV'S TO VICS WITH A VERTICAL DISCHARGE OF MORE THAN 1.22m.
- 6- WASTE PIPES TO BE ACCESSIBLE ALONG ENTIRE LENGTH.

CONSULTANTS

consultants	
Quantity Surveyor	
consultants	
Structural Engineer	
consultants	
Civil Engineer	
consultants	
Electrical Engineer	
consultants	
Mechanical Engineer	

REVISIONS

NO.	Description	Date
1	ISSUED FOR INFORMATION	24-12-25

SCHEDULE OF AREAS	
BLOCK A GF	426 SQM
BLOCK A FF	404 SQM
TOTAL	830 SQM

REFER TO SITE PLAN FOR SCHEDULE OF RIGHTS

SOFTWARE	REVIT	Rever Type
		A1

KEY PLAN

TYPICAL BLOCK B&C

CLIENT
FV TRADING ENTERPRISES

PROJECT

PROPOSED RESIDENTIAL DEVELOPMENT Erf 193 DUNCANVILLE, VAAL

DRAWING

GROUND STOREY FIRST STOREY

Precinct

ARCHITECTURE + INTERIORS
1st Floor, Oxford Road, Hyde Park Office Park,
Glen Jansz, Pretoria, 0001, South Africa
Phone: 011 784 2031 Fax: 011 260 6510
Email: admin@precinct.co.za
Website: www.precinct.co.za

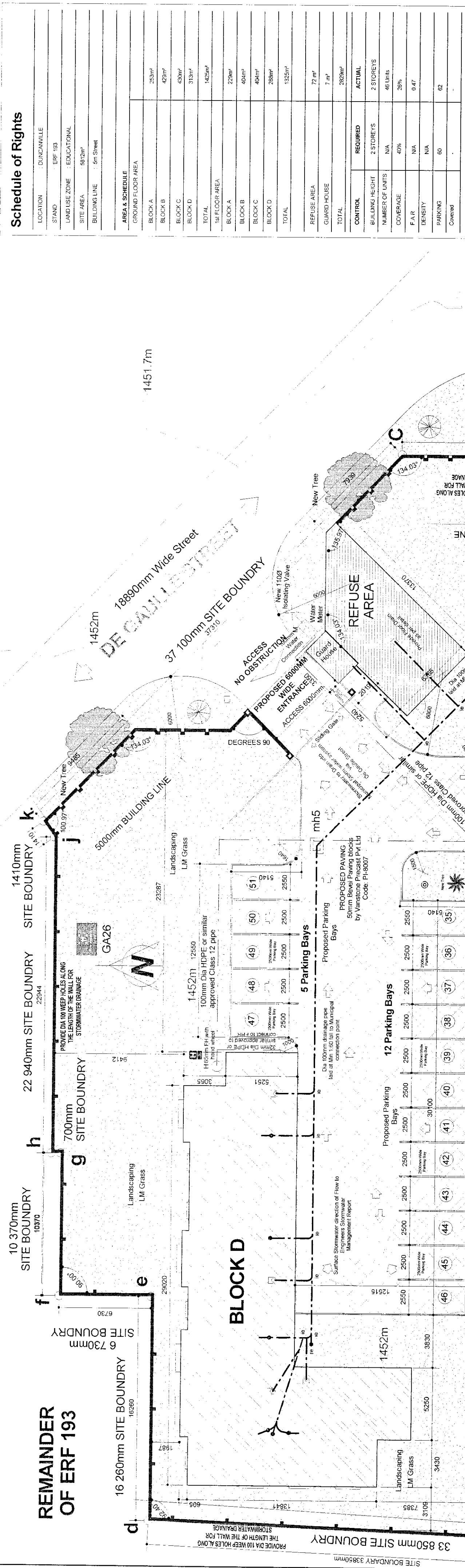
SACAP NO. Pro. Arch. 7226

DRAWN	BY	CHECKED	MR
DATE	09/11/2016	SCALE	1:100
DRAWING NUMBER	BC100	PROJECT NUMBER	2015-13
		REV	A

SIGNED *Aimé Kubwimana* ARCHITECT
Aimé Kubwimana PrEng
Civil & Structural Engineer
Reg. No. 20070298
P.O. Box 11275, Centurion, 0046

SIGNED *Pelaw* OWNER

REMAINDER
OF ERF 193



Schedule of Rights	
LOCATION	DUNCANVILLE
STAND	ERF 193
LAND USE ZONE	EDUCATIONAL
SITE AREA	58 200m²
BUILDING LINE	50' Street

AREA & SCHEDULE	
UNPAVED AREA	2500m²
BLOCK A	4200m²
BLOCK B	4200m²
BLOCK C	4200m²
BLOCK D	4200m²
TOTAL	16800m²
1st FLOOR AREA	4200m²
BLOCK A	2200m²
BLOCK B	2200m²
BLOCK C	2200m²
BLOCK D	2200m²
TOTAL	8800m²
REFUSE AREA	72m²
GUARD HOUSE	7m²
TOTAL	2800m²

CONTROL	
REQUIRE	ACTUAL
BUILDING HEIGHT	2 STOREYS
NUMBER OF UNITS	N/A
COVERAGE	40%
P.A.R.	N/A
DENSITY	N/A
PARKING	60
COVERED	62

FIRE NOTES:
Building to comply with SANS 10400 - A, T, W
Safety Distance comply with Reg. 4.2
Eastern Boundary : 10m
Southern Boundary : 4.029m
Western Boundary : 3m
Northern Boundary : 1.987m
Water Retention in accordance with Reg. 4.33
Fire Hose reels comply with Reg. 4.34
Portable fire extinguishers comply with Reg. 4.37
Access for fire fighting : 6.000m without overhead obstructions.

Site Plan
Scale 1 : 200

NOTE:
FOR STORMWATER MANAGEMENT REFER TO
DRAWING NUMBER P1400-03-CE001 Row D.
MINIMUM FLOOR LEVEL OF BUILDING TO BE 200MM ABOVE FINAL GROUND LEVEL.
REFER TO ENGINEER'S STORMWATER MANAGEMENT REPORT.

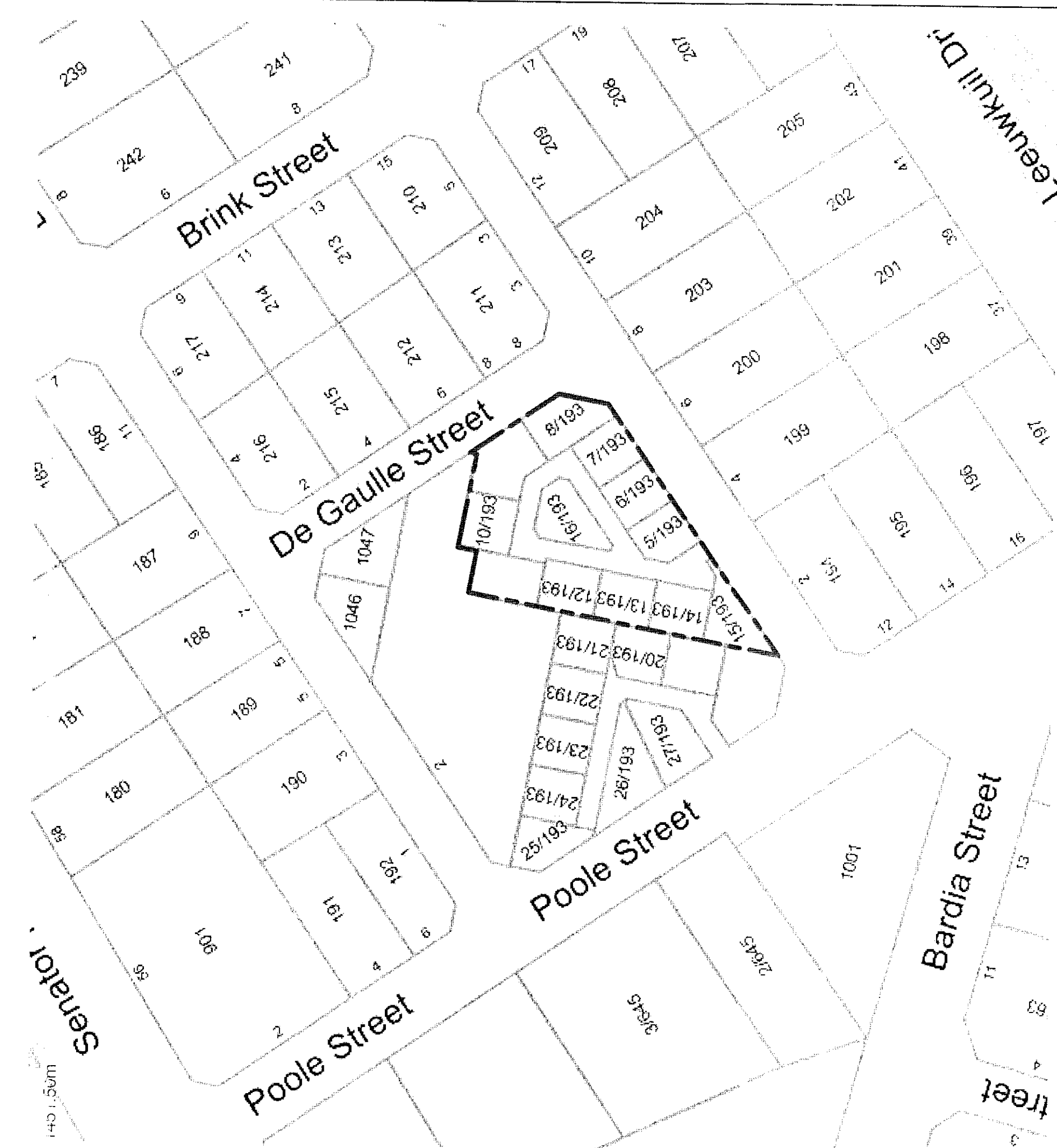
OCCUPANCY CLASSIFICATION: H3

- GENERAL NOTES**
1. THIS DRAWING IS NOT TO BE SCALED. USE DIMENSIONS WITHIN DRAWING.
 2. ALL RELEVANT DETAILS & DIMENSIONS MUST BE CHECKED ON SITE BEFORE ANY WORK IS STARTED. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
 3. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONAL ERRORS IF NOT NOTIFIED AT THE TIME OF SETTING OUT & EXERCISING FROM THE REPRESENTATION OF DRAWINGS.
 4. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR THE CORRECT INTERPRETATION OF THE DRAWING.
 5. A SITE INSPECTION MUST BE CONDUCTED BY THE ARCHITECT AT ANY TIME BEFORE THE START OF CONSTRUCTION TO VERIFY THE SITE IS AS SHOWN ON THE DRAWING.
 6. A FULL SET OF THE LATEST DRAWINGS ARE TO BE KEPT AND MAINTAINED ON SITE FOR REFERENCE USE.
 7. ALL WORK TO COMPLY WITH NATIONAL, PROVINCIAL, LOCAL, & MUNICIPAL REQUIREMENTS.

- Drainage**
1. ALL LINES TO BE SHOWN IN ACCORDANCE WITH NRS.
 2. ALL LINES & JUNCTIONS IN DRAWINGS & SEWERS TO BE FITTED WITH RE-1.
 3. RE-1 TO HAVE MINIMUM COVER OF 100MM.
 4. CHEMICAL WASTE IS TO BE USED DURING CONSTRUCTION.
 5. ASPIR 110 ALL LINES WITH A VERTICAL DISCHARGE OF MORE THAN 12m.
 6. WASTE PIPES TO BE ACCESSIBLE ALONG ENTIRE LENGTH.
- Lighting & Ventilation**
1. NATURAL VENTILATION TO BE MIN. 1% OF FLOOR AREA.
 2. WINDOWS TO BE MIN. 1% OF FLOOR AREA.
 3. COMPLIANCE TO COMPLY WITH OCCUPATIONAL HEALTH & SAFETY ACT.
 4. GLASS THICKNESS TO BE 10MM.
 5. 150mm x 250mm glass panes.
 6. 150mm x 250mm glass panes.

REVISIONS	
NO.	Description
1	ISSUED FOR INFORMATION
2	11/03/2016

Location Plan
NTS



29/3/2016

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT Portion 1 Erf 193
DUNCANVILLE, VAAL

DRAWING
SITE PLAN

Precinct	
1st FLOOR OVERLOOKING HYDE PARK LANE	
2nd FLOOR OVERLOOKING HYDE PARK LANE	
3rd FLOOR OVERLOOKING HYDE PARK LANE	
4th FLOOR OVERLOOKING HYDE PARK LANE	
5th FLOOR OVERLOOKING HYDE PARK LANE	
6th FLOOR OVERLOOKING HYDE PARK LANE	
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100th FLOOR OVERLOOKING HYDE PARK LANE	

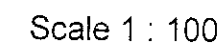
Aimé Kubwimana PEng
Civil & Structural Engineer
Reg. No. 20070286
P.O. Box 11275, Centurion, 0046
www.aimedesign.co.za

CLIENT SIGNATURE

ARCHITECT'S SIGNATURE

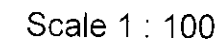
SACAP NO. Pro. Arch. 7226

DRAWING	
DATE	11/03/2016
DRAWING NUMBER	ST001
PROJECT NUMBER	2015-13
REV	A



Scale 1 : 50

Scale 1 : 50



Scale 1 : 50

Scale 1 : 50
