



NEW SOUTH PROPERTY INSPECTIONS, INC.

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New South Property Inspections

Residential & Commercial



LANCE HOME INSPECTION REPORT

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04/08/2026



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TABLE OF CONTENTS

1: Inspection Details	6
2: Exterior	8
3: Roofing	21
4: Electrical	28
5: Plumbing	33
6: Heating Systems	37
7: Air Conditioning Systems	40
8: HVAC Ducting	42
9: Attic	43
10: Interior Areas	46
11: Bathrooms	55
12: Kitchen	61
13: Laundry Area	69
14: Fireplaces and Fuel-Burning Appliances	71
15: Foundation-Basements-Crawlspaces-Slab	73
Standards of Practice	80

This summary is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For Information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina or South Carolina real estate agent or an attorney.

A home inspection is a "snapshot" in time. Because a system or component is performing its normally intended function or operation at the time of the inspection does not assure that it will continue to do so. Any system or component, regardless of age or use, can fail catastrophically at any time and without any indication of impending failure. The inspector cannot predict any future adverse conditions including but not limited to roof leaks, component failures, Plumbing leaks or the remaining service life of any applicable system or component. Therefore, Customer agrees that the Company is not responsible for and will not participate financially or in any other manner in the repair or replacement of any component included in the contractual scope of inspection which was performing its normally intended function or operation at the time of the inspection and which fails subsequent to the inspection. [Click HERE for NC Standards of Practice](#)



MAINTENANCE ITEM



RECOMMENDATION

URGENT OR SAFETY
CONCERN

-  2.1.1 Exterior - Vegetation, Grading, Drainage & Retaining Walls: Tree Overhang
-  2.2.1 Exterior - Driveways: Driveway open cracks
-  2.3.1 Exterior - Walkways & Steps: Steps Pulling Away
-  2.3.2 Exterior - Walkways & Steps: Mortar Joint Deterioration
-  2.3.3 Exterior - Walkways & Steps: Moss/Weed Growth
-  2.5.1 Exterior - Siding & Trim: Insufficient Siding to roof Clearance
-  2.5.2 Exterior - Siding & Trim: Brick Veneer - Minor crack
-  2.5.3 Exterior - Siding & Trim: Mildew
-  2.6.1 Exterior - Eaves, Soffits & Fascia: Wasps Nest
-  2.7.1 Exterior - Exterior Wall Penetrations: Missing Sealant
-  2.8.1 Exterior - Exterior Doors: Cracked Caulking
-  3.1.1 Roofing - Coverings: Discoloration
-  3.1.2 Roofing - Coverings: Organic Debris
-  3.4.1 Roofing - Chimney: Flashing loose
-  3.4.2 Roofing - Chimney: Heavy Soot
-  3.5.1 Roofing - Skylights, Roof Penetrations: Lifting Edges
-  3.5.2 Roofing - Skylights, Roof Penetrations: Short Plumbing Vent
-  4.3.1 Electrical - Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels: Different Breakers
-  4.3.2 Electrical - Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels: Ground Wire Not Located
-  4.3.3 Electrical - Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels: Excessive Rust
-  4.4.1 Electrical - Branch Circuit Conductors, Overcurrent Devices and Compatibility of Their Amperage & Voltage: Aluminum Wiring 15/20 amps
-  4.5.1 Electrical - Smoke Detectors: Not At All Recommended Locations
-  4.6.1 Electrical - Carbon Monoxide Detectors: No C.O. Detectors
-  5.3.1 Plumbing - Water Heater: Improper Flue Clearance

- ⊖ 8.1.1 HVAC Ducting - Distribution Systems: Rusted Supply Register
- 🔧 10.2.1 Interior Areas - Doors: Door Doesn't Latch
- ⊖ 10.2.2 Interior Areas - Doors: Missing Hardware
- ⚠️ 10.5.1 Interior Areas - Walls: Suspected Mold Growth
- ⊖ 10.6.1 Interior Areas - Floors: Floors Squeak
- ⊖ 10.6.2 Interior Areas - Floors: Sagging Floors
- 🔧 10.7.1 Interior Areas - Lighting Fixtures, Switches & Receptacles: Light Inoperable
- ⚠️ 10.7.2 Interior Areas - Lighting Fixtures, Switches & Receptacles: Scorching Observed
- ⊖ 10.7.3 Interior Areas - Lighting Fixtures, Switches & Receptacles: Exposed Low Voltage Wiring
- ⊖ 10.8.1 Interior Areas - Steps, Stairways & Railings: Stairs Squeak
- ⊖ 10.9.1 Interior Areas - Windows: Failed Thermal Seal
- ⊖ 10.9.2 Interior Areas - Windows: Cracked Caulking
- ⊖ 11.3.1 Bathrooms - Ceilings: Leak Stains - inactive
- ⊖ 11.3.2 Bathrooms - Ceilings: Paint cracking
- ⊖ 11.3.3 Bathrooms - Ceilings: Cracks
- ⊖ 11.6.1 Bathrooms - Toilet: Toilet Loose - no leak
- ⊖ 11.8.1 Bathrooms - Shower / Tub: Grout missing or cracked
- ⊖ 11.8.2 Bathrooms - Shower / Tub: Cracks in Shower Enclosure
- ⚠️ 11.10.1 Bathrooms - GFCI: No GFCI Protection Installed
- ⊖ 11.11.1 Bathrooms - Lighting Fixtures, Switches & Receptacles: Cover Plates Missing
- ⊖ 12.2.1 Kitchen - Ceilings: Leak Stains - inactive
- ⊖ 12.5.1 Kitchen - Sink: Stains under Sink
- ⊖ 12.6.1 Kitchen - Lighting Fixtures, Switches & Receptacles: Light Inoperable
- ⚠️ 12.7.1 Kitchen - GFCI: No GFCI Protection Installed
- ⊖ 12.9.1 Kitchen - Dishwasher: No drain loop
- 🔧 12.11.1 Kitchen - Range/Oven/Cooktop: Exhaust Light Not Working
- ⊖ 13.1.1 Laundry Area - Exhaust Systems: Excessive Lint Buildup
- ⚠️ 13.2.1 Laundry Area - Utility Connections / Sink / Electrical: No GFCI
- ⊖ 14.2.1 Fireplaces and Fuel-Burning Appliances - Fireplace vent / flue: Heavy Soot Buildup
- ⊖ 15.1.1 Foundation-Basements-Crawlspaces-Slab - Foundation Wall Structure: Microbial Growth
- ⊖ 15.1.2 Foundation-Basements-Crawlspaces-Slab - Foundation Wall Structure: Wood rot crawl space door
- ⊖ 15.1.3 Foundation-Basements-Crawlspaces-Slab - Foundation Wall Structure: Efflorescence on walls
- ⊖ 15.1.4 Foundation-Basements-Crawlspaces-Slab - Foundation Wall Structure: Damaged Access Door
- ⊖ 15.2.1 Foundation-Basements-Crawlspaces-Slab - Foundation - Crawlspaces: Elevated Moisture Levels (>20%)
- ⊖ 15.2.2 Foundation-Basements-Crawlspaces-Slab - Foundation - Crawlspaces: Insulation - Fallen / Missing
- ⊖ 15.2.3 Foundation-Basements-Crawlspaces-Slab - Foundation - Crawlspaces: Insulation Stringy
- ⚠️ 15.3.1 Foundation-Basements-Crawlspaces-Slab - Sub Floor Structure: Leaning Pier

1: INSPECTION DETAILS

Information

In Attendance

Nobody

Occupancy

Vacant

Style of Home

Single Family Multi-level

Temperature (approximate)

45 Fahrenheit (F)

Weather Conditions

Clear



Limitations

General

BASE DISCLOSURE - SCOPE

We wish to remind you that every property requires a certain amount of ongoing maintenance: drains sometimes clog, gutters, downspouts and the grading around the property must be properly maintained to help prevent water intrusion into the basement or crawlspace; roofs, furnaces, air conditioners and other components require regular maintenance and inspection. This property will be no exception and we strongly suggest that you both expect and budget for regular maintenance/repairs.

The following report is based on visual inspection of the readily accessible areas of this property and on a random sampling of like items, not every item was or could be inspected. Please read the entire report carefully, ask your inspector any questions you might have and obtain estimates or discuss noted items with a contractor before closing.

THIS REPORT IS INTENDED TO BE VIEWED IN COLOR. THE DIRECTIONAL REFERENCE OF LEFT AND RIGHT ARE STATED AS IF STANDING IN THE FRONT YARD FACING THE FRONT OF HOUSE.

2: EXTERIOR

		IN	NI	NP	RR
2.1	Vegetation, Grading, Drainage & Retaining Walls	X			X
2.2	Driveways	X			X
2.3	Walkways & Steps	X			X
2.4	Patios & Porches	X			
2.5	Siding & Trim	X			X
2.6	Eaves, Soffits & Fascia	X			X
2.7	Exterior Wall Penetrations	X			X
2.8	Exterior Doors	X			X
2.9	Exterior Window Trim	X			
2.10	Lighting Fixtures & Receptacles, Faucets	X			
2.11	Decks, Balconies			X	

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

Inspection Method

Visual and Non-Invasive

Siding & Trim: Siding Style

Brick & Mortar Stack, Panels

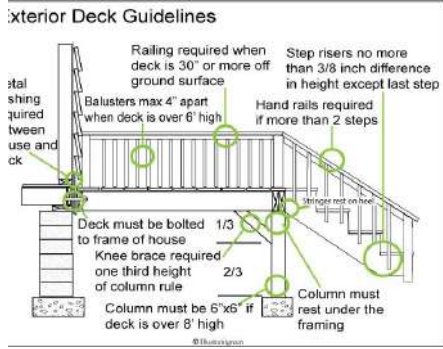
Exterior Window Trim: Window Trim Material

Metal, Vinyl



Decks, Balconies: General Information - Picture Required
No Deck installed

Decks, Balconies: Material
N/A



Exterior Photos - Required 1 per side



Front



Left



Right



Rear

Driveways: Driveway Material

Concrete



Walkways & Steps: Appurtenance

Concrete Walkway, Brick Steps



Front



Front

Patios & Porches: Appurtenance

Front Stoop, Covered Porch, Patio



Front



Rear



Rear



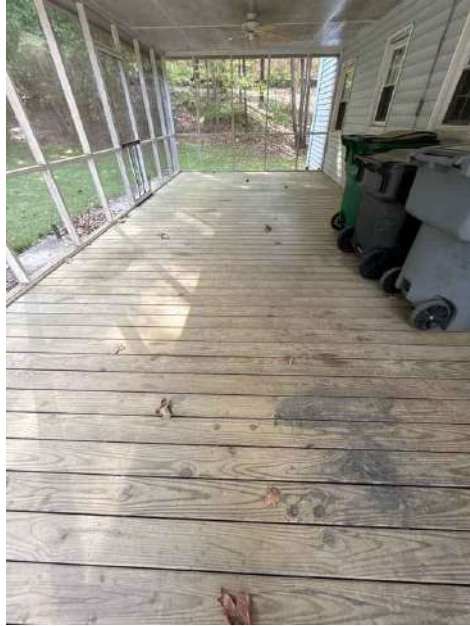
Rear

Patios & Porches: Material

Concrete, Brick, Wood



Front



Rear

Siding & Trim: Siding Material

Brick Veneer, Vinyl



Exterior Doors: Exterior Entry Doors

Metal, Wood, Glass



Front Door



Back Door

Limitations

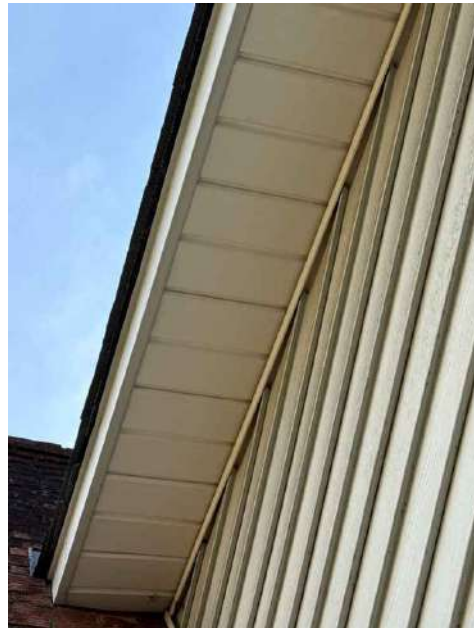
Eaves, Soffits & Fascia

NOT PHYSICALLY ACCESSIBLE

The eaves, soffits and corner boxing areas are not physically accessible and could not be probed as a result to check for rot. Any comments made are based on visual evidence only.



Front



Left



Right



Rear

Exterior Window Trim

NOT ACCESSIBLE

Most of the 2nd floor and higher windows are not physically accessible and could not be probed to determine if Rot is present. Wood Rot may be present and not visible due to paint finish. As a result some defects may not be identified due to inaccessibility.



Decks, Balconies

GENERAL LIMITATIONS

A deck inspection is a visual and non invasive assessment of readily accessible and readily visible components of the deck construction. Often times due to hidden components the Inspector may not be able to determine if your deck is properly attached to the house or simply free standing. Also the footers under post are almost never visible and the inspector may not be able to determine if deck post are sitting on a proper footing.

Flashing is not always visible. Inspectors look for evidence of structural concerns and deterioration, however no load calculations are performed or verified and Inspector will not accept liability for issues undiscovered due to lack of visibility or accessibility. All issues that are described as defects are issues that were visible on day of inspection only. This inspection is not a written or implied warranty of the deck and buyer may want to have the deck further evaluated by a qualified deck contractor if there are concerns.

Recommendations

2.1.1 Vegetation, Grading, Drainage & Retaining Walls

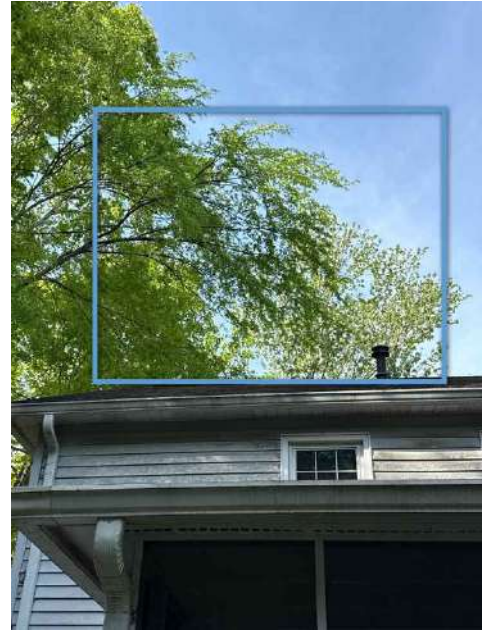
 Maintenance Item

TREE OVERHANG

Trees observed overhanging the roof. This can cause damage to the roof and prevent proper drainage and could cause damage to roof shingles over time. Recommend a qualified tree service trim to allow for proper drainage and prevent damage.

Recommendation

Contact a qualified tree service company.



Right

2.2.1 Driveways

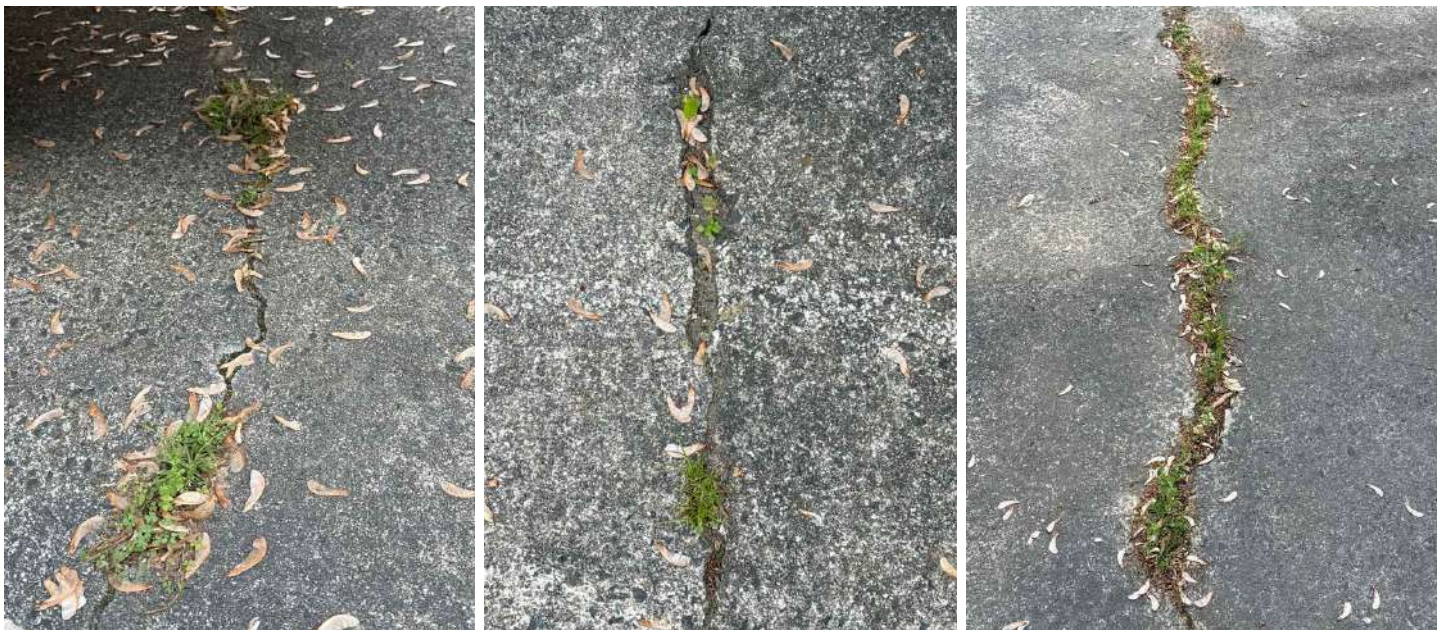
 Recommendation

DRIVEWAY OPEN CRACKS

Open cracking observed to the concrete driveway. This can allow for unwanted water intrusion below the surface of the driveway and could lead to possible erosion in affected areas. Recommend repair as needed by a qualified driveway contractor to prevent further damage.

Recommendation

Contact a qualified driveway contractor.





2.3.1 Walkways & Steps

STEPS PULLING AWAY

Separation was observed between the brick steps and the front porch, indicating movement or settlement of the steps, which may create a tripping hazard and could allow water intrusion that may lead to further deterioration over time; recommend evaluation and repair by a qualified contractor to stabilize and properly secure the steps to the structure.

Recommendation

Contact a qualified professional.



Recommendation



Front

2.3.2 Walkways & Steps

MORTAR JOINT DETERIORATION

Deterioration of the mortar joints was observed at the front entry steps, including cracking and loss of material between the pavers, which may allow water intrusion, contribute to further displacement or movement of the bricks, and create a potential tripping hazard; recommend repair or re-pointing of the affected joints by a qualified contractor to restore stability and help prevent further deterioration.

Recommendation

Contact a qualified professional.



Recommendation



Front

2.3.3 Walkways & Steps

MOSS/WEED GROWTH

 Recommendation

Moss and vegetation growth was observed between the brick joints at the front entry steps, which is typically indicative of prolonged moisture retention and can contribute to deterioration of the mortar joints, displacement of the bricks, and a potential slipping hazard when wet; recommend removal of vegetation, cleaning of the affected areas, and sealing or repairing the joints as needed to help prevent further growth and deterioration.

Recommendation

Contact a qualified professional.



Front



Front

2.5.1 Siding & Trim

INSUFFICIENT SIDING TO ROOF CLEARANCE

 Recommendation

Inspector observed insufficient Roof to sidewall flashing clearance at Sidewalls or Dormers (if applicable). A two inch clearance is desirable between roofing material and trim or siding to prevent water from being wicked up into the siding. Lack of this required clearance may result in water intrusion / wood rot. Interested Parties should consult with a qualified siding contractor to determine the significance of this concern and make corrections as needed.

Recommendation

Contact a qualified siding specialist.



Front



Rear

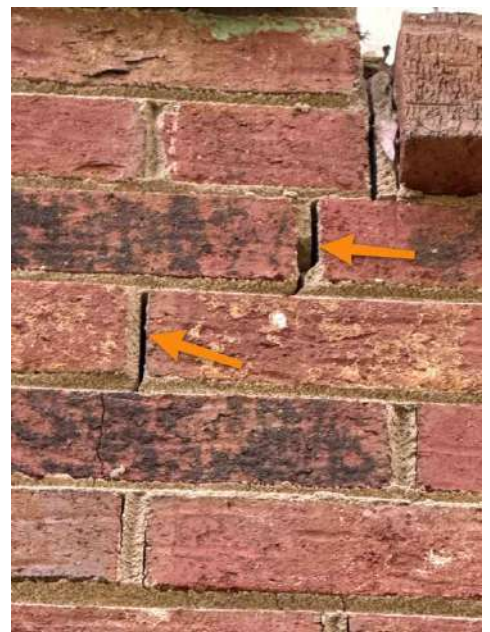
2.5.2 Siding & Trim

BRICK VENEER - MINOR CRACK

Cracks noted in the brick veneer. It is recommended that only a cosmetic repair is needed to the brick veneer at this time. Following repair, the crack areas should be monitored and if a more significant crack (1/4 inch or more in width) forms or re-appears, further evaluation by a qualified and licensed general contractor or engineer would be recommended.

Recommendation

Contact a qualified masonry professional.



Front

2.5.3 Siding & Trim

MILDEW



Inspector noted a buildup of mildew staining on the surface of the siding. This is primarily a cosmetic issue and we recommend the house be pressure washed.

Recommendation

Contact a handyman or DIY project



2.6.1 Eaves, Soffits & Fascia

Recommendation

WASPS NEST

Wasp nests were visible under the soffits. Recommend a qualified exterminator evaluate and remove.

Recommendation

Contact a qualified pest control specialist.



Left



Front



Rear

2.7.1 Exterior Wall Penetrations

Recommendation

MISSING SEALANT

Inspector noted exterior wall penetrations with open gaps in the exterior surface. This will allow moisture and pest intrusion and we recommend sealing all open gaps by a qualified handyman.

Recommendation

Contact a qualified handyman.



Front



Front

2.8.1 Exterior Doors

CRACKED CAULKING

 Maintenance Item

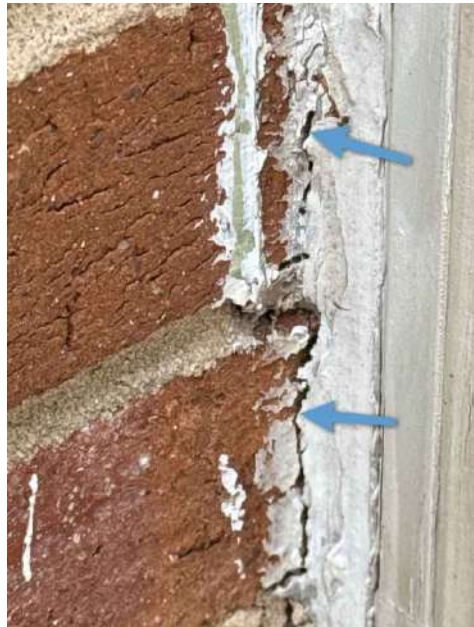
The caulking around components such as but not limited to windows, doors and exterior wall penetrations at various areas around the house need to be caulked/sealed, open voids and or missing cracked caulking observed.

Recommendation

Recommended DIY Project



Front Door



Front Door

3: ROOFING

		IN	NI	NP	RR
3.1	Coverings	X			X
3.2	Roof Drainage Systems	X			
3.3	Flashings	X			
3.4	Chimney	X			X
3.5	Skylights, Roof Penetrations	X			X

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

Roof Type/Style

Gable

Coverings: Material

Asphalt

Roof Drainage Systems: Gutter Material

Aluminum



Flashings: Material

Rubber, Metal

Chimney: Chimney - Picture Required



Inspection Method

Binoculars, Ground, Ladder

Unless otherwise stated, the roof was inspected from the ground using Binoculars.

Coverings: Homeowner's Responsibility

A Homeowners job is to monitor the roof covering because any roof can leak at anytime without warning, especially after storms or high wind events. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters. Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Coverings: Roof covering - Pictures of front and back required

Front Roof



Front Roof



Rear Roof



Rear Roof



Rear Roof

Chimney: Interior flue not visible

Interior sections of the fireplace chimney flues were not observed/inspected. The National Fire Prevention Association (NFPA) recommends that a Level II inspection be performed whenever a home is sold. This involves cleaning and inspection of the flue. A qualified chimney sweep should be engaged.

Limitations**Roof Drainage Systems****UNDER GROUND LINES**

Downspouts Into Ground: Downspouts that run into the ground are subject to backup/blockage. Neither the presence nor integrity of underground lines, nor free flow of water through such lines is readily determinable during a home inspection.



Flashings

DIFFICULT TO SEE EVERY FLASHING

Inspector attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

Skylights, Roof Penetrations

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Recommendations

3.1.1 Coverings

DISCOLORATION



Roof shingles were discolored, which can be caused by moisture, rust or soot. Recommend a qualified roofing contractor evaluate and remedy with a roof cleaning or repair.

[Here is a helpful article](#) on common roof stains.

Recommendation

Contact a qualified roofing professional.



Rear Roof

3.1.2 Coverings

ORGANIC DEBRIS

 Recommendation

Excessive organic debris noted on roof surface. During the winter season this could cause issues known as "ice damming". This can damage the roof construction and shingle covering significantly overtime. Recommend removal of all organic debris from roof surface.

Recommendation

Contact a qualified professional.



Rear Roof

3.4.1 Chimney

FLASHING LOOSE

 Recommendation

Chimney flashing appears to be loose and or pulling away from the chimney and or roof decking and may be leaking to the interior of home. We recommend further evaluation by a professional contractor and repair or replace as deemed necessary by that contractor.

Recommendation

Contact a qualified roofing professional.



3.4.2 Chimney

HEAVY SOOT

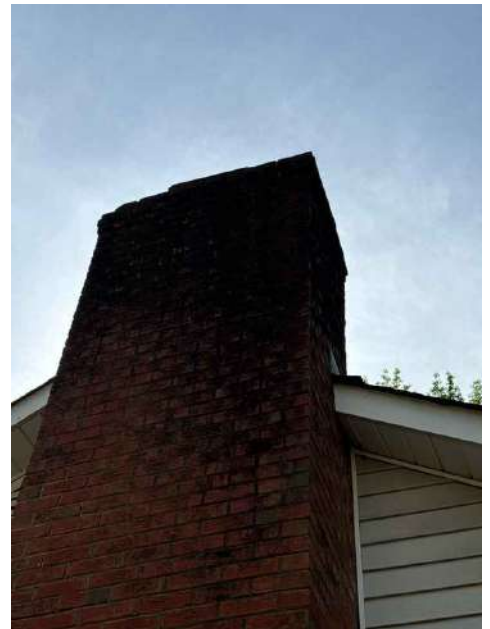
Heavy soot staining was observed on the exterior of the chimney, which is not typical and may indicate improper drafting, incomplete combustion, or issues with the fireplace or flue system; this condition may contribute to reduced performance and potential safety concerns, and recommend evaluation and cleaning by a qualified chimney professional prior to continued use.

Recommendation

Contact a qualified professional.



Recommendation



3.5.1 Skylights, Roof Penetrations

LIFTING EDGES

Inspector observed some of the roof flashing has raised bottom edges. At some locations the nails may have backed out of the flashing. This can result in damage to the flashing and / or water intrusion around the unprotected roof area. Recommend flashing be secured flat to the roof and sealed to prevent possible water intrusion or damage in high winds.

Recommendation

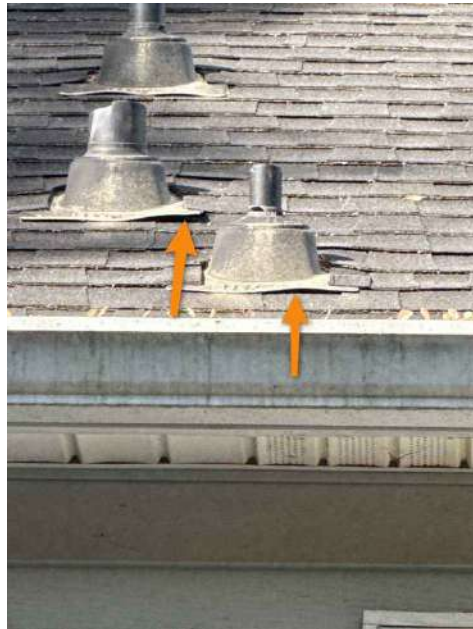
Contact a qualified roofing professional.



Recommendation



Rear Roof



Rear Roof

3.5.2 Skylights, Roof Penetrations

SHORT PLUMBING VENT

A plumbing vent on the rear roof plane was observed to be cut off and terminating at a low height, which may not allow for proper venting of the plumbing system and can increase the potential for sewer gas odors or moisture intrusion at the roof penetration; recommend evaluation and correction by a qualified plumbing contractor to ensure the vent is properly extended and sealed in accordance with current standards.

Recommendation

Contact a qualified professional.

 Recommendation



Rear Roof

4: ELECTRICAL

		IN	NI	NP	RR
4.1	General	X			
4.2	Service Entrance Conductors	X			
4.3	Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels	X			X
4.4	Branch Circuit Conductors, Overcurrent Devices and Compatability of Their Amperage & Voltage	X			X
4.5	Smoke Detectors	X			X
4.6	Carbon Monoxide Detectors			X	X

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

General: Wiring Method

Romex

Service Entrance Conductors: Electrical Service Conductors

Below Ground, Aluminum,
120/240 Volts



Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels: Required Photos - Panel cover on(1) and removed(1)



Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels: Main Panel Capacity

Unknown

Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels: Sub-Panel Capacity

No sub panel

Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels: Panel Locations - Main and Subs

Exterior

Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels: Panel Type
Circuit Breaker

Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels: Electrical Ground
Unknown

Branch Circuit Conductors, Overcurrent Devices and Compatibility of Their Amperage & Voltage: Branch Wire
15 and 20 AMP
Aluminum

Carbon Monoxide Detectors: No C.O. detectors installed

Service Entrance Conductors: Electric Meter Box - REQUIRED Picture



Smoke Detectors: Smoke Detectors Installed

Unless otherwise noted in the report, the smoke detectors are properly installed and operated as designed during testing.



Limitations

General

BASE DISCLOSURE

We are not licensed electrical contractors and in accordance with the standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. However, every electrical deficiency or recommended upgrade should be regarded as a latent hazard that should be serviced as soon as possible, along with evaluation and certification of the entire system as safe by a licensed electrical contractors. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because a licensed electrical contractor could reveal additional deficiencies or recommend additional upgrades for which we disclaim any responsibility. Any electrical repairs or upgrades should be made by a licensed electrical contractor. Aluminum wiring requires periodic inspection and maintenance by a licensed electrical contractor. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly. Inoperative light fixtures often lack bulbs or have dead bulbs installed. The inspector is not required to insert any tool, probe, or testing device inside the panels, test or operate any over-current device except for ground fault interrupters, nor dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels. Any ancillary wiring or system that is not part of the primary electrical distribution system is not part of this inspection but may be mentioned for informational purposes only, including but not limited to low voltage systems, security system devices, heat detectors, carbon monoxide detectors, telephone, security, cable TV, intercoms, and built in vacuum equipment.

Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

COVER NOT REMOVED

The exterior electrical panel exhibited signs of interior rust/corrosion and contained at least one breaker that may not be compatible with the panel, which can affect proper operation and safety; additionally, proper grounding and bonding could not be confirmed, and recommend further evaluation and any necessary repairs by a licensed electrician.

Recommendations

4.3.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels



Recommendation

DIFFERENT BREAKERS

Several breakers in the main electrical panel have been added or replaced. The new breakers are of a different brand from the panel enclosure and are not listed on the label of the panel. Breakers must be UL listed and certified for each panel to ensure proper operation. The compatibility of the breakers to the panel needs further evaluation by a licensed professional electrician to ensure safe and proper operation of the overcurrent protection systems.

Recommendation

Contact a qualified electrical contractor.



4.3.2 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

 Recommendation

GROUND WIRE NOT LOCATED

Proper ground could not be found at the time of inspection. The ground may not be present or could be hidden from view or buried. This is a safety hazard and it is recommended that a licensed electrician verify or install proper ground.

Recommendation

Contact a qualified electrical contractor.



4.3.3 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

 Recommendation

EXCESSIVE RUST

Significant amounts of rust were found in the main service panel. No approved method exists for cleaning contaminants from panel interiors or components such as buss or terminal bars. Rust and corrosion can lead to increased resistance in the wiring at the electrical panel and this increases the risk of fire due to overheating connections. We recommend further evaluation by a licensed professional electrician and repair or replace as deemed necessary by that contractor.

Recommendation

Contact a qualified electrical contractor.



4.4.1 Branch Circuit Conductors, Overcurrent Devices and Compatibility of Their Amperage & Voltage

 Urgent or Safety Concern

ALUMINUM WIRING 15/20 AMPS

Single strand aluminum wire is present on 120 volt branch circuits in this house. This single strand, branch circuit aluminum wire was used widely during the 1960s and 1970s. According to reports published by the U.S. Consumer Product Safety Commission (CPSC), problems due to overheating at the connections between the wire and devices such as switches, outlets, and light fixtures may have been responsible for house fires. It is recommended that the circuits using single strand aluminum wiring be evaluated and modified as may be deemed necessary by a licensed electrical contractor who is familiar with the problems inherent in this type of wiring. For more information on aluminum household wiring, refer to the National Electrical Code and the C.P.S.C. booklet "Repairing Aluminum Wiring." The toll-free hotline number for obtaining this booklet is 1-800-638-2772, or you can visit: [Aluminum Wiring Repair](#)

Recommendation

Contact a qualified electrical contractor.



4.5.1 Smoke Detectors

NOT AT ALL RECOMMENDED LOCATIONS

Recommendation

Smoke detectors were not observed at all recommended locations within the home, which may reduce early detection of smoke or fire and increase the risk of injury or property damage; recommend installation of smoke detectors in accordance with current safety standards, including inside each sleeping room, outside sleeping areas, and on each level of the home.

Recommendation

Contact a qualified professional.

4.6.1 Carbon Monoxide Detectors

NO C.O. DETECTORS

Recommendation

All homes with fuel burning appliances should have a carbon monoxide detector installed to detect improper appliance operation and prevent possible carbon monoxide poisoning. It is recommended that a CO detector be installed for each section of the home for safety.

Recommendation

Recommended DIY Project

5: PLUMBING

		IN	NI	NP	RR
5.1	Drain, Waste, & Vent Systems	X			
5.2	Water Supply System		X		
5.3	Water Heater	X			X
5.4	Sump Pumps / Sewage Ejectors			X	
5.5	Fuel Storage & Distribution Systems	X			
5.6	Private Well			X	
5.7	Lawn Irrigation System			X	

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

Filters

None

Water Source

Public

Drain, Waste, & Vent Systems:

Material

PVC

Water Supply System: Main Water Shut-Off Device (Required Photo)

Unknown

Water Supply System: Material

Unknown - Not Visible

Water Heater: Capacity

50 Gallons

Water Heater: Location

Laundry Room

Water Heater: Manufacturer

State

Water Heater: Power Source

Gas



Fuel Storage & Distribution Systems: Gas Line Material

Black Pipe

Fuel Storage & Distribution Systems: Main Fuel Shut-Off (Location)

Exterior, Gas Meter



Left

Plumbing Disclosure

The plumbing supply, drains, waste and vent piping materials were only visible in the attic areas and some interior fixture locations and crawl / basement if applicable. The plumbing was inspected for functional flow and drainage, however, it is not possible to fully evaluate the plumbing system to determine proper venting, sizing, or functional design during a home inspection when the system can not be put under the same load as presented by a family. The inspection does not assure that the plumbing systems of the home will meet the demands of a large family.

Water Supply System: Water Shut Off - Not Located

Inspector could not locate the main water shut-off. Please ask the current owners for the location. Otherwise, you will need to use a water key at the street meter. Water keys can be purchased at any hardware store.

Water Heater: Required Pictures - Water Heater

One Picture with close up of manufacturers label and One showing entire water heater



Fuel Storage & Distribution Systems: Required Picture of exterior gas meter



Limitations

General

BASE DISCLOSURE

We do not test for water quality or hazardous materials (lead) testing, however for an additional fee, testing is available from local testing labs, but not included in this inspection. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection, nor can the presence of mineral build-up that may gradually restrict their inner diameter and reduce water volume. Plumbing components such as gas pipes, potable water pipes, drain and vent pipes, and shut-off valves are not generally tested if not in daily use. The inspector cannot state the effectiveness or operation of any anti-siphon devices, automatic safety controls, water conditioning equipment, fire and lawn sprinkler systems, on-site water quality and quantity, on-site waste disposal systems, foundation irrigation systems. Waste and drainpipes pipe condition is usually directly related to their age. Older ones are subject to damage through decay and root movement, whereas the more modern PVC pipes are virtually impervious to damage, Although some rare batches have been alleged to be defective. Older properties with galvanized or cast iron supply or waste lines can be obstructed and barely working during an inspection but later fail under heavy use. If the water is turned off or not used for periods of time (such as a vacant building waiting for closing), rust or deposits within the piping can further clog the piping system. However, inasmuch as significant portions of drainpipes are concealed, we can only infer their condition by observing the draw at drains at the time of inspection. Nonetheless, blockages will still occur in the life of any system for which we are not responsible.

Water Heater

WATER NOT ON

The water was turned off at the time of the inspection. This condition will limit inspection of the plumbing system and may affect portions of other systems. Due to the potential for damage from leaking pipes, the inspector does not open water shut-off valves. The inspector recommends that before the expiration of your due diligence deadline, you have water service returned to the home and have the plumbing system inspected by a qualified plumbing contractor.

Recommendations

5.3.1 Water Heater

IMPROPER FLUE CLEARANCE

The gas water heater exhaust flue was observed to be in direct contact with the ceiling gypsum board, which is a combustible material and may present a fire hazard due to elevated flue temperatures; recommend correction by a qualified contractor to provide proper clearance and appropriate fire-rated separation in accordance with current safety standards.

Recommendation

Contact a qualified professional.



Laundry Room

6: HEATING SYSTEMS

		IN	NI	NP	RR
6.1	Heating Equipment	X			
6.2	Gas Distribution Lines	X			
6.3	Vents & Flues	X			

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

Number of Heat Systems

One

Heating Equipment: Required Pictures (3)

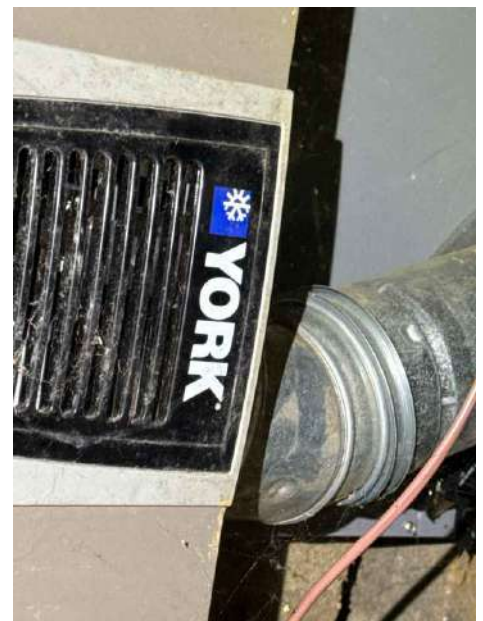
Picture of entire unit, Picture of data plate

If Cover could not be removed - State Limitation



Heating Equipment: Brand

York



Heating Equipment: Energy Source

Gas

Heating Equipment: Filter Type

Disposable

Heating Equipment: Heat Type

Gas-Fired Heat

Gas Distribution Lines: Gas Line Material

Black Pipe

Vents & Flues: Flue / Vent - Metal

The flue / vent for the furnace is Metal.



System Tested using Thermostat

The heating system was visually inspected and operated using normal thermostat controls only. If you would like an invasive inspection of the unit, please contact a licensed professional HVAC technician / contractor. To keep your unit operating safely and efficiently, a qualified service technician should check the entire HVAC system seasonally. Many items fail on HVAC systems without warning and can't be detected by the Home Inspector at time of inspection. Many HVAC companies offer their service technicians large bonuses for selling and installing new equipment as the price markups are very high on most systems. We recommend obtaining at least two or even three bids whenever presented with recommendations to replace your HVAC systems.

Heating Equipment: Temperature Differentials

Picture of Supply Temperature, Picture of Return Temperature



Supply



Return

Heating Equipment: Appliances subject to Fail

Inspector wishes to remind Client that all appliances that were tested operated as designed at time of Inspection unless otherwise noted. However, ALL equipment / appliances are subject to fail without warning at any time, including immediately after an Inspection has been completed. Appliances are mechanical and all will fail overtime, there is nothing the inspector could see or do to predict this failure IF it occurs after an inspection and we are not responsible.

Most appliances have a design life of less than 10 years.

7: AIR CONDITIONING SYSTEMS

		IN	NI	NP	RR
7.1	General	X			
7.2	Cooling Equipment	X			

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

General: Type

Air Conditioner

General: Number of Cooling Systems

One

Cooling Equipment: Temperature Differentials

Not Tested - Low Temperature

Cooling Equipment: Brand

Unknown

Cooling Equipment: Energy Source/Type

Electric, Central Air Conditioner

Cooling Equipment: Required Pictures (2)

Entire unit, Data Plate



Cooling Equipment: Appliances subject to Fail

Inspector wishes to remind Client that all appliances that were tested operated as designed at time of Inspection unless otherwise noted. However, ALL equipment / appliances are subject to fail without warning at any time, including immediately after an Inspection has been completed. Appliances are mechanical and all will fail overtime, there is nothing the inspector could see or do to predict this failure IF it occurs after an inspection and we are not responsible.

Most appliances have a design life of less than 10 years.

Limitations

Cooling Equipment

COVERS NOT REMOVED

Cover Not Removed on cooling equipment - Evaporator coil cabinet covers are not removed per the Standards of Practice and per our inspection agreement. HVAC inspections are readily visible and easily accessible without removal of secured covers. Cooling equipment is visually inspected and tested using the installed thermostat ONLY. The interior of cooling equipment is not inspected and specifically excluded from the inspection and this report.

8: HVAC DUCTING

		IN	NI	NP	RR
8.1	Distribution Systems	X			X

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

Distribution Systems: Ductwork - Required Pictures (2)

Insulated



Recommendations

8.1.1 Distribution Systems

RUSTED SUPPLY REGISTER

Heavy rust and corrosion were observed on the supply register in the second-floor primary bathroom, which is typically indicative of prolonged moisture exposure and may lead to deterioration of the component and reduced air distribution efficiency; recommend replacement of the affected register and evaluation of the area for excessive humidity or ventilation issues to help prevent recurrence.

Recommendation

Contact a qualified professional.



2nd Floor Main Bathroom

9: ATTIC

		IN	NI	NP	RR
9.1	Attic Framing / Sheathing	X			
9.2	Ventilation	X			
9.3	Attic Insulation	X			
9.4	Lighting Fixtures, Switches & Receptacles			X	
9.5	Attic Stairs / Access Covers	X			

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

Attic Framing / Sheathing:

Material

Plywood



Ventilation: Ventilation Type

Gable Vents, Ridge Vents, Soffit Vents

Attic Insulation: R-value

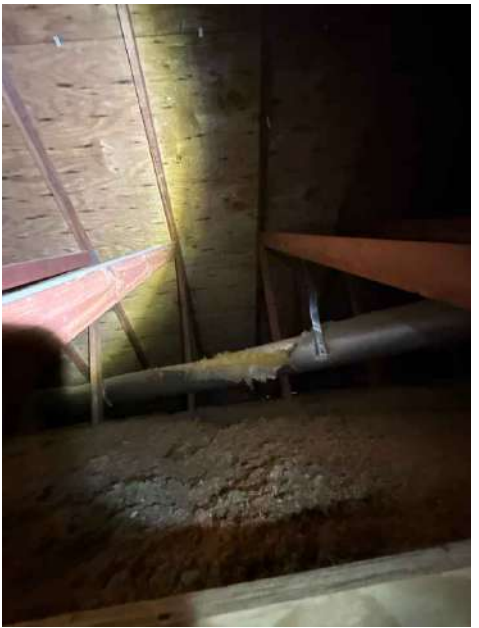
30

Attic Insulation: Insulation Type
Cellulose

Attic Stairs / Access Covers:
Pictures of access areas



Attic Photos Required (2 minimum)



Attic Framing / Sheathing: Disclosure

The attic was entered and inspected with flashlight where accessible and / or visible from access areas while standing on a 7 foot ladder as necessary.

Attic Framing / Sheathing: Type

Engineered Truss



Ventilation: Disclosure

Ventilation/Vapor Retarders: Attic heat and moisture levels and ventilation adequacies are subject to change. Monitor for any significant buildup or changes and correct cause and/or improve ventilation as warranted. The presence and coverage adequacy of vapor retarders (barriers) cannot be confirmed in most cases.

Attic Insulation: Disclosure - No energy assessment

Insulation: An energy assessment or audit is outside the scope of the standard home inspection. Any comments on amounts and/or materials are for general informational purposes only and were not verified. Some insulations may contain or release potentially hazardous materials; avoid disturbing. Wall insulation is not readily visible. Pre-1970s homes are more likely to have been constructed with insulation levels significantly below present day standards.

Limitations

Attic Insulation

NOT VISIBLE

Home Inspectors do not walk on ceiling joist or trusses, we can only walk in attic if plywood flooring is installed, this is to prevent the risk of stepping thru the ceiling below. As a result, only insulation that is visible from accessible areas is inspected. Home Inspector will not accept responsibility for any issues / defects that may exist in the inaccessible areas of the attic that do not have a walking area.

10: INTERIOR AREAS

		IN	NI	NP	RR
10.1	General	X			
10.2	Doors	X			X
10.3	Ceilings	X			
10.4	Trim/Moulding	X			
10.5	Walls	X			X
10.6	Floors	X			X
10.7	Lighting Fixtures, Switches & Receptacles	X			X
10.8	Steps, Stairways & Railings	X			X
10.9	Windows	X			X
10.10	Trim	X			

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

Ceilings: Ceiling Material

Drywall

Walls: Wall Material

Drywall

Floors: Floor Coverings

Laminate, Carpet

Steps, Stairways & Railings:

Pictures

Windows: Window Manufacturer

Unknown

Windows: Window Type

Thermal



General: Interior Photos (1 to 2 Required per room)



Limitations

General

BASE DISCLOSURE

Please note we do not move stored or personal items or furniture to check outlets or condition of walls, floors, ceilings, windows or doors. If an area or component is not accessible, it will not be inspected. If a receptacle is not working, check a control switch. It is common for homes to have receptacles installed that are controlled by a control (light) switch. We do not check all switches for what they control that would take an enormous amount of time and make a home inspection unaffordable. Often some switches will be on a 3 or 4 way light switch. It is impossible during the time frame of a home inspection to test all switches in all their possible on/off combinations. We are not responsible for defective issues not identified due to inaccessibility.

General

FRAMING NOT VISIBLE

Interior Wall and Ceiling Framing is not normally visible during a Home Inspection as the walls and ceilings have drywall installed which completely block visibility. Therefore the type of construction and material is not visible and not inspected.

General

NOT INSPECTED NOT EASILY ACCESSIBLE

Any areas that are not readily accessible or visible and / or blocked by owners furniture or personal belongings / dirty clothes or by drapes, window blinds, plantation shutters or any item that would require the inspector to move by hand will not be tested/operated or inspected and specifically excluded from the inspection and this report.

Windows

ONE PER ROOM DISCLOSURE

Per the standards of Practice only a representative number of windows are inspected. This is one per room, however the inspector may, at his discretion and as a courtesy only, inspect more than required. As a result, some defects may not be discovered. No windows will be inspected that are not easily and readily accessible without moving furniture or other personal household items.

Windows

NOT TESTED

Windows that are not readily accessible and / or blocked by owners furniture or personal belongings or by drapes, window blinds, plantation shutters or any item that would require the inspector to move by hand will not be tested/operated or inspected and specifically excluded from the inspection and this report.

Recommendations

10.2.1 Doors

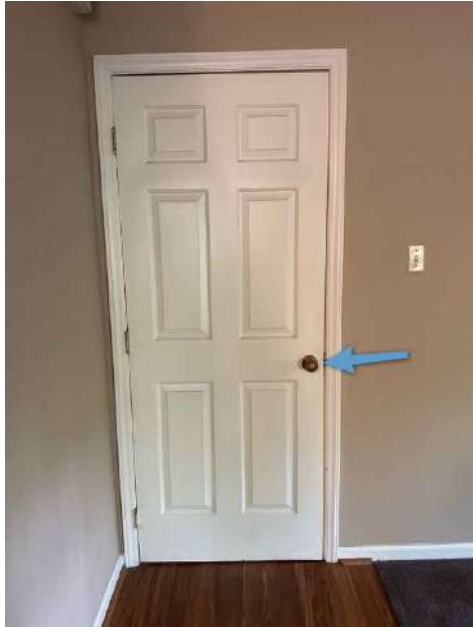
Maintenance Item

DOOR DOESN'T LATCH

One or more interior doors do not latch properly. This may result in undesirable usage. Recommend a qualified handyman repair latch and/or strike plate. [Door latch repair](#)

Recommendation

Contact a handyman or DIY project



1st Floor Living Room



2nd Floor Main Bathroom

10.2.2 Doors

Recommendation

MISSING HARDWARE

The accordion-style door at the dining room entrance was observed to be off its track and missing hardware, preventing proper operation, which may lead to further damage to the door components and limits its intended functionality; recommend repair or replacement of the door and associated hardware by a qualified contractor to restore proper operation.

Recommendation

Contact a qualified professional.



1st Floor Dining Room

10.5.1 Walls

Urgent or Safety Concern

SUSPECTED MOLD GROWTH

Suspected microbial growth was observed on the walls and ceiling within the second-floor right front bedroom, which is typically associated with elevated moisture or humidity conditions and may impact indoor air quality and lead to further material deterioration if not addressed; recommend evaluation by a qualified professional to determine the extent of the condition, correction of any underlying moisture source, and proper cleaning or remediation as needed.

Recommendation

Contact a qualified professional.



2nd Floor Right Front Bedroom Closet

10.6.1 Floors

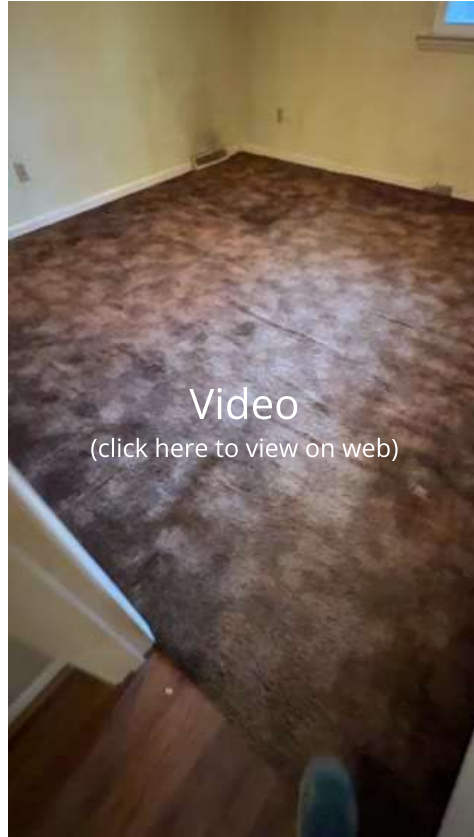
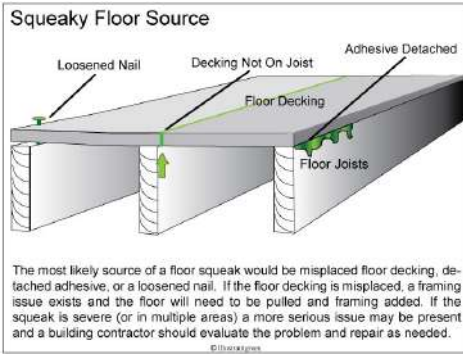
FLOORS SQUEAK



Floors squeak when walked on in some areas. Floors that squeak are generally caused by plywood sheathing that is not properly nailed and glued to the floor joists. Another possibility is that the sheathing is not properly butted together, causing an up and down movement of the floor. The floor structure is covered with carpet and the exact cause of the squeaking could not be determined at time of inspection. Recommend further evaluation by a qualified flooring contractor.

Recommendation

Contact a qualified flooring contractor



1st Floor Right Bedroom



2nd Floor Right Rear Bedroom

Video
(click here to view on web)

10.6.2 Floors

SAGGING FLOORS

Multiple floors throughout the house are sloping or bouncy when stepped on. This is typical in an old house and may be caused by insufficient or deteriorated support in the sub floor structure or it could be simply settlement over the life of an old house. It is usually impossible during the time of a home inspection to determine the actual cause with the exception of possible concerns pointed out in the foundation section of this inspection and report (If Applicable). We recommend further evaluation by a qualified and licensed professional contractor and / or engineer to determine IF corrective measures are required at this time.

Recommendation

Contact a qualified general contractor.

 Recommendation



2nd Floor Main Bedroom

10.7.1 Lighting Fixtures, Switches & Receptacles

LIGHT INOPERABLE

 Maintenance Item

Observed lights not working in areas of the house, it is possible the bulbs are simply burned out or it could be a result of faulty wiring. We recommend that the bulbs be replaced and if that does not correct the problem, we recommend further evaluation and repair or replace by a qualified Electrician.

Recommendation

Contact a handyman or DIY project



1st Floor Hallway

10.7.2 Lighting Fixtures, Switches & Receptacles



Urgent or Safety Concern

SCORCHING OBSERVED

Scorching and discoloration were observed at the living room electrical receptacle and cover plate, which may indicate overheating due to loose wiring, arcing, or a failing device; this condition presents a potential fire hazard and should be considered a safety concern, and recommend immediate evaluation and repair or replacement by a licensed electrician.

Recommendation

Contact a qualified professional.



1st Floor Living Room

10.7.3 Lighting Fixtures, Switches & Receptacles



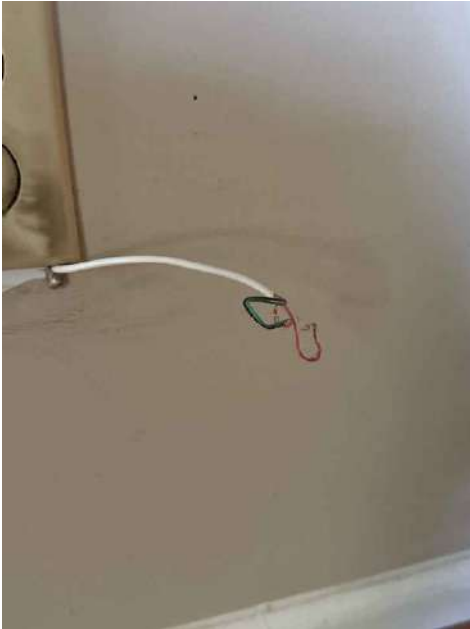
Recommendation

EXPOSED LOW VOLTAGE WIRING

An unidentified low-voltage wire was observed extending from the wall below an electrical receptacle, with exposed conductors and no securing or termination, which may present a risk of damage to the wiring and is indicative of incomplete or abandoned installation; recommend evaluation by a qualified technician to determine its purpose and proper removal or secure termination as needed.

Recommendation

Contact a qualified professional.



Living Room

10.8.1 Steps, Stairways & Railings

STAIRS SQUEAK

The interior staircase was observed to produce squeaking noises when walked on, which typically indicates loose or worn fasteners, movement between stair components, or inadequate securing of the treads and risers; while not uncommon, this condition may worsen over time and could lead to further loosening or minor structural movement, and recommend repair by a qualified contractor to secure the stair components and reduce movement and noise.

Recommendation

Contact a qualified professional.



10.9.1 Windows

FAILED THERMAL SEAL

Observed condensation or fogging between some of the window panes, which indicates a failed thermal seal. This could reduce the thermal efficiency of the window system. Recommend qualified window contractor evaluate & replace.

Recommendation

Contact a qualified window repair/installation contractor.





1st Floor Front



2nd Floor Right Front Bedroom

10.9.2 Windows

CRACKED CAULKING

The caulking around some of the windows at various areas around the house need to be caulked/sealed, open voids and or missing cracked caulking observed.

Recommendation

Recommended DIY Project



Multiple Windows

11: BATHROOMS

		IN	NI	NP	RR
11.1	General	X			
11.2	Doors	X			
11.3	Ceilings	X			X
11.4	Walls	X			
11.5	Floors	X			
11.6	Toilet	X			X
11.7	Sink	X			
11.8	Shower / Tub	X			X
11.9	Countertops & Cabinets	X			
11.10	GFCI			X	X
11.11	Lighting Fixtures, Switches & Receptacles	X			X
11.12	Ventilation	X			

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

Ceilings: Ceiling Material

Drywall

Walls: Wall Material

Drywall

Floors: Floor Coverings

Tile

Countertops & Cabinets:

Cabinetry

Wood

Countertops & Cabinets:

Countertop Material

Laminate

General: Bathroom Photos (1 Required per BR)



1st Floor Half Bathroom



2nd Floor Hallway Bathroom



2nd Floor Main Bathroom

General: Fungi Growth

Discolorations typical of fungal growth such as mold are typically found in kitchen & bathroom areas and the interior cabinets under the sinks. Fungal growths are indications of condensation and could indicate a history of moisture or inadequate heating / cooling of the home. The kitchen / bathrooms are inspected for moisture concerns and evidence of wood damage, however health related issues concerning mold are beyond the scope of the home inspection. If the buyer has additional concerns related to the presence of the fungal growths, a qualified fungal testing contractor should be consulted for further evaluation and testing to determine IF mold / fungal growth is present and what, IF any remediation may be needed. Most fungal growths found in kitchens and bathrooms are typically just surface mildew and easily cleaned using a mixture of bleach and water.

General: Base Disclosure

Bathrooms are high use areas with many components subject to periodic malfunction, particularly those related to the plumbing system. Normal usage could not be simulated during the inspection; therefore, anticipate the possibility of leakage or other concerns developing with normal usage/aging or as latent conditions are discovered with the removal of carpeting, tile, shower pans, etc. The function and water tightness of fixture overflows or other internal fixture components generally cannot be assessed. The water tightness of all tile, enclosures, and other surfaces must be maintained on a regular basis. Note: The condition of sub-structure and other components concealed by finish materials/wall tiles cannot be determined and are specifically excluded from the inspection and report.

Limitations

General

NOT INSPECTED

Any area of a bathroom including around Windows that are not readily accessible and / or blocked by owners furniture or personal belongings, dirty clothing, bath rugs, shower or tub mats, drapery, window blinds, plantation shutters or any item that would require the inspector to move by hand will not be tested/operated or inspected and specifically excluded from the inspection and this report. Hidden or non-visible defects may not be noted and we will not accept any liability for Hidden or non-visible defects.

Toilet

WATER TURNED OFF

Water is turned off at All toilets and they could not be inspected.

Sink

WATER NOT ON

Water service is not on, unable to inspect plumbing fixtures, supply, drain lines for leaks or proper venting/drainage.

Shower / Tub

WATER NOT ON

Recommendations

11.3.1 Ceilings

LEAK STAINS - INACTIVE

Stains on the ceilings indicate a history of a leak. Using a moisture meter provides additional evidence that the leak is not active as there is NO elevated moisture when tested. Further Investigation by a repair specialist and / or Painter and owner disclosure is recommended.

Recommendation

Contact a qualified painting contractor.



2nd Floor Hallway Bathroom

11.3.2 Ceilings

PAINT CRACKING

Paint was noted to be cracking at one or more locations, recommend repair by a qualified painter.

Recommendation

Contact a qualified painting contractor.



2nd Floor Hallway Bathroom

11.3.3 Ceilings

CRACKS

Inspector noted one or more cracks in ceilings. No additional evidence to suggest structural issues. Recommend repair by a qualified contractor.

Recommendation

Contact a qualified general contractor.





1st Floor Half Bathroom

11.6.1 Toilet

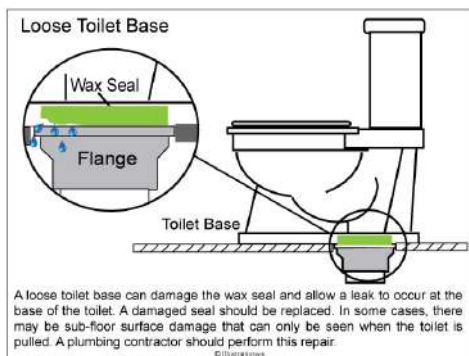
 Recommendation

TOILET LOOSE - NO LEAK

The toilet is loose at the floor and needs to be secured properly. As the toilet loosens the seal that is formed from the toilet loosens and the seal is not as tight as it once was. This may result in a leak allowing waste water or sewage gases into the home from a deformed wax ring. At time of Inspection, no active leak noted however further evaluation by a licensed plumbing contractor is recommended to determine IF a new wax seal is needed and secure toilet.

Recommendation

Contact a qualified plumbing contractor.



1st Floor Half Bathroom

11.8.1 Shower / Tub

GROUT MISSING OR CRACKED

Inspector noted gaps in the grout between tiles at the shower surround. This will allow water intrusion and possibly moisture related issues. Recommend repair by a qualified tile contractor.

Recommendation

Contact a qualified tile contractor



2nd Floor Hallway Bathroom

11.8.2 Shower / Tub

CRACKS IN SHOWER ENCLOSURE

Cracking was observed in the ceiling surface of the shower enclosure in the second-floor primary bathroom, which may allow moisture intrusion into the ceiling assembly and lead to deterioration, mold growth, or concealed damage over time; recommend sealing and repairing the affected area and further evaluation by a qualified contractor to determine the extent of damage and prevent moisture penetration.

Recommendation

Contact a qualified professional.



2nd Floor Main Bathroom

11.10.1 GFCI

NO GFCI PROTECTION INSTALLED

Inspector noted one or more electrical outlets are not GFCI protected. A GFCI (ground fault circuit interrupter) outlet is a device that adds a greater level of safety by reducing the risk of electric shock. GFCI outlets have been required as follows:

1975 - Bathrooms and powder rooms

Recommend a licensed electrician repair or upgrade by installing ground fault receptacles in all required locations.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.





1st Floor Half Bathroom



2nd Floor Main Bathroom



2nd Floor Hallway Bathroom

11.11.1 Lighting Fixtures, Switches & Receptacles

COVER PLATES MISSING



One or more receptacles / light switches are missing a cover plate. This creates a shock risk and is a safety hazard. Recommend installation of plates for safety.

Recommendation

Recommended DIY Project



2nd Floor Main Bathroom

12: KITCHEN

		IN	NI	NP	RR
12.1	General	X			
12.2	Ceilings	X			X
12.3	Walls	X			
12.4	Floors	X			
12.5	Sink	X			X
12.6	Lighting Fixtures, Switches & Receptacles	X			X
12.7	GFCI			X	X
12.8	Garbage Disposal	X			
12.9	Dishwasher	X			X
12.10	Refrigerator	X			
12.11	Range/Oven/Cooktop	X			X
12.12	Countertops & Cabinets	X			
12.13	Built-in Microwave			X	

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

Ceilings: Ceiling Material
Drywall

Walls: Wall Material
Drywall

Floors: Floor Coverings
Tile, Vinyl

Sink: Under sink picture



Refrigerator: Brand
LG



Range/Oven/Cooktop:
Range/Oven Energy Source
Electric

Range/Oven/Cooktop:

Range/Oven Brand

GE

**Range/Oven/Cooktop: Exhaust**

Hood Type

Re-circulate

Countertops & Cabinets:

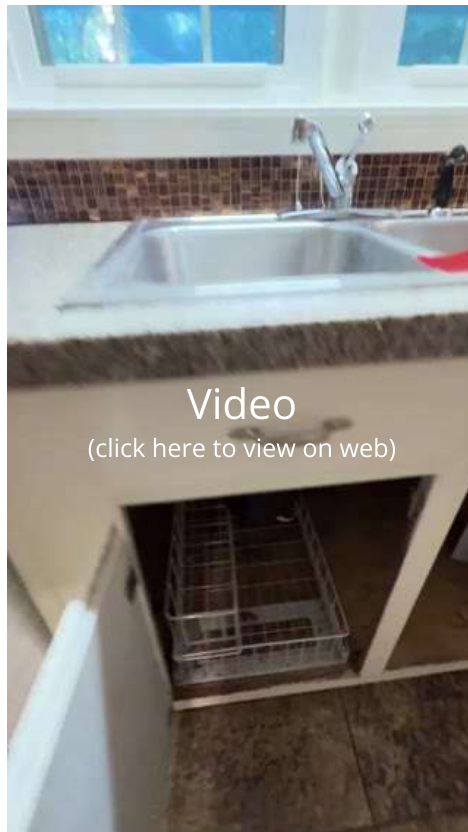
Countertop Material

Granite

**Built-in Microwave: Built-In Microwave Picture****General: Kitchen Pictures (Required)****General: Fungi Growth**

Discolorations typical of fungal growth such as mold are typically found in kitchen & bathroom areas and the interior cabinets under the sinks. Fungal growths are indications of condensation and could indicate a history of moisture or inadequate heating / cooling of the home. The kitchen / bathrooms are inspected for moisture concerns and evidence of wood damage, however health related issues concerning mold are beyond the scope of the home inspection. If the buyer has additional concerns related to the presence of the fungal growths, a qualified fungal testing contractor should be consulted for further evaluation and testing to determine IF mold / fungal growth is present and what, IF any remediation may be needed. Most fungal growths found in kitchens and bathrooms are typically just surface mildew and easily cleaned using a mixture of bleach and water.

Garbage Disposal: Garbage Disposal Picture



Garbage Disposal: Appliances subject to Fail

Inspector wishes to remind Client that all appliances that were tested operated as designed at time of Inspection unless otherwise noted. However, ALL equipment / appliances are subject to fail without warning at any time, including immediately after an Inspection has been completed. Appliances are mechanical and all will fail overtime, there is nothing the inspector could see or do to predict this failure IF it occurs after an inspection and we are not responsible.

Most appliances have a design life of less than 10 years. Inspector wishes to remind the Client that we offer a FREE limited 90 day warranty on ALL appliances less than 10 years old that fail after Inspection, as long as it was working at time of Inspection, simply for using New South Property Inspections, Inc.

Dishwasher: Brand

Bosch



Range/Oven/Cooktop: Range / Oven Required Photos

Picture of range top ON, Picture of Range/Oven turned OFF



Countertops & Cabinets: Cabinetry

Wood



Limitations

Sink

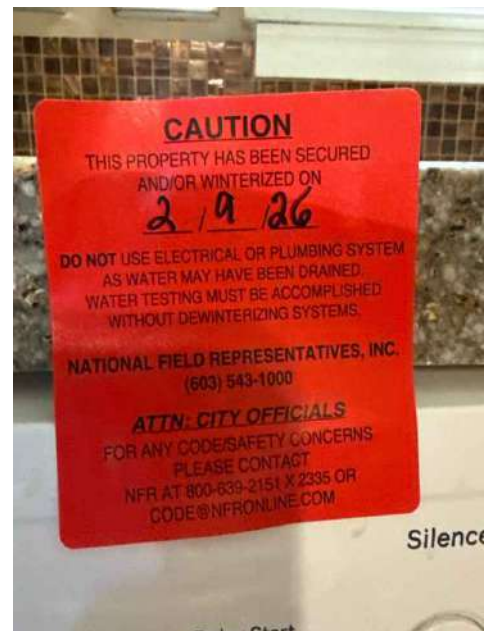
WATER NOT ON

Water service is not on, unable to inspect plumbing fixtures, supply, drain lines for leaks or proper venting/drainage.

Dishwasher

WATER NOT ON - NOT TESTED

Water is not on and therefore dishwasher could not be tested.



Recommendations

12.2.1 Ceilings

**LEAK STAINS - INACTIVE**

Stains on the ceilings indicate a history of a leak. Using a moisture meter provides additional evidence that the leak is not active as there is NO elevated moisture when tested. Further Investigation by a repair specialist and / or Painter and owner disclosure is recommended.

Recommendation

Contact a qualified painting contractor.



Kitchen



Kitchen

12.5.1 Sink

**STAINS UNDER SINK**

Stains under the sink indicate a history of a leak. At the time of the inspection it was not possible to determine if the condition was due to an active or past occurrence. Further Investigation by a repair specialist and owner disclosure is recommended.

Recommendation

Contact a qualified handyman.



Kitchen

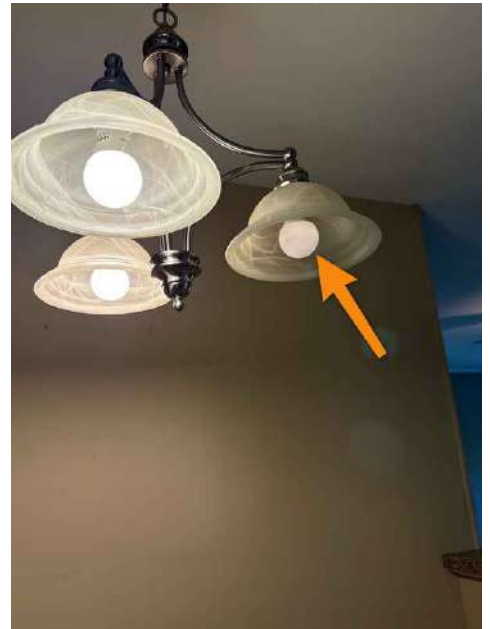
12.6.1 Lighting Fixtures, Switches & Receptacles

**LIGHT INOPERABLE**

Observed lights not working in areas of the house, it is possible the bulbs are simply burned out or it could be a result of faulty wiring. We recommend that the bulbs be replaced and if that does not correct the problem, we recommend further evaluation and repair or replace by a qualified Electrician.

Recommendation

Contact a handyman or DIY project



Kitchen

12.7.1 GFCI

NO GFCI PROTECTION INSTALLED

 Urgent or Safety Concern

Inspector noted one or more electrical outlets are not GFCI protected. A GFCI (ground fault circuit interrupter) outlet is a device that adds a greater level of safety by reducing the risk of electric shock. GFCI outlets have been required as follows:

1987 - Finished Basements and Kitchens (within 6 of a sink)

1996 - All kitchen countertop outlets, Unfinished outbuildings, All outdoor receptacles

Recommend a licensed electrician repair or upgrade by installing ground fault receptacles in all required locations.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.



Kitchen



Kitchen



Kitchen

12.9.1 Dishwasher



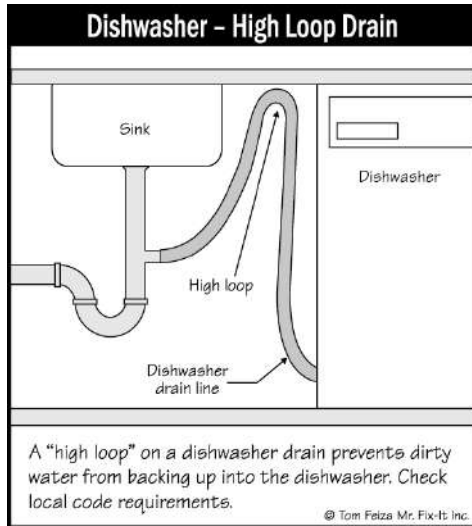
Recommendation

NO DRAIN LOOP

The dishwasher drain line under the sink does not have a drain loop. The drain line for the dishwasher should be installed so a portion of it is as high as possible under the cabinet. This is called a drain loop. A drain loop prevents water from flowing back into the dishwasher if the sink backs up or clogs. A licensed plumbing contractor or other qualified contractor/person should further investigate and after their evaluation make repairs or replacements as needed.

Recommendation

Contact a qualified plumbing contractor.

P154
No Drain Loop Pic

Kitchen

12.11.1 Range/Oven/Cooktop

EXHAUST LIGHT NOT WORKING

The light fixture at the kitchen exhaust hood was observed to be non-functional at the time of inspection, which may reduce visibility at the cooking surface and could indicate a failed bulb, faulty switch, or internal electrical issue; recommend replacing the bulb as a first step and further evaluation and repair by a qualified technician if the issue persists.

Recommendation

Contact a qualified professional.



Maintenance Item



Kitchen

13: LAUNDRY AREA

		IN	NI	NP	RR
13.1	Exhaust Systems	X			X
13.2	Utility Connections / Sink / Electrical	X			X

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

Laundry Room Picture (Required) **Dryer Power Source**



Electric



Dryer Vent

Metal



Exhaust Systems: Exhaust Systems

Dryer Vent

Utility Connections / Sink / Electrical: Photos



Limitations

Exhaust Systems

BASE DISCLOSURE

Exterior termination of the dryer vent could not be located / confirmed unless otherwise noted. Dryer vents, over time become partially or fully blocked by lint or by birds and animals and therefore should be cleaned on a regular basis, as part of normal home maintenance. The interior of the dryer vent is not visible and is not inspected. Only the most obvious visible defects can be observed and reported. It is recommended that you ask the seller when the last time the vent was cleaned and if over a year, have it professionally cleaned.

Recommendations

13.1.1 Exhaust Systems



Recommendation

EXCESSIVE LINT BUILDUP

Excessive lint buildup was observed at the exterior dryer exhaust vent, which can restrict airflow and create a potential fire hazard due to the highly combustible nature of lint, as well as reduce the efficiency and performance of the dryer; recommend cleaning the vent and exhaust duct system and having it further evaluated and serviced as needed by a qualified contractor to ensure proper and safe operation.

Recommendation

Contact a qualified professional.



13.2.1 Utility Connections / Sink / Electrical



Urgent or Safety Concern

NO GFCI

Residential laundry areas require GFCI protection for all 15 and 20 amp receptacles in laundry rooms regardless of whether there is a sink in the laundry area. The laundry room receptacle is not GFCI protected in this home. Recommend installation of a GFCI receptacle in the laundry room by a licensed professional electrician.

Recommendation

Contact your builder.



Laundry Room

14: FIREPLACES AND FUEL-BURNING APPLIANCES

		IN	NI	NP	RR
14.1	Fireplaces, Stoves & Inserts		X		
14.2	Fireplace vent / flue	X			X

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

Type

Gas



Limitations

General

BASE DISCLOSURE

Fireplaces are not checked for actual function in burning of solid fuels. If gas logs or other gas appliances are present, gas shutoff valves are not tested or turned on or off. If Pilot lights are not on they will not be lit. If lit, it is as a courtesy only. Fireplaces flues and chimneys should be inspected on an annual basis and more often depending on usage. Inspection of the fireplace is limited to visible and accessible sections only. The inner reaches of the flue or chimney throat are relatively inaccessible, gas logs block the view of metal flues completely, so the view from the fireplace or chimney is not adequate to discover possible deficiencies or damage, even with a strong light.

Fireplaces, Stoves & Inserts

PILOT FLAME NOT ON

The pilot flame to the logs was not on therefore the gas logs were not tested or inspected and specifically excluded from the report and inspection.

Fireplace vent / flue

BASE DISCLOSURE

Chimney and vent evaluations are based on external conditions only. Internal conditions, design, and venting adequacy were not evaluated unless specifically indicated. A periodic check of all chimneys/vents is advisable as a precautionary measure. A chimney sweep is often qualified to assess/maintain chimney/vent interiors.

Recommendations

14.2.1 Fireplace vent / flue



HEAVY SOOT BUILDUP

Heavy soot and creosote-like buildup was observed within the firebox of the gas log fireplace, which is not typical for properly functioning gas appliances and may indicate incomplete combustion, improper fuel-to-air mixture, or venting issues; this condition can lead to reduced efficiency and potential safety concerns including carbon monoxide production, and recommend evaluation, cleaning, and servicing by a qualified fireplace or HVAC technician prior to continued use.

Recommendation

Contact a qualified professional.



Living Room

15: FOUNDATION-BASEMENTS-CRAWLSPACES-SLAB

		IN	NI	NP	RR
15.1	Foundation Wall Structure	X			X
15.2	Foundation - Crawlspace	X			X
15.3	Sub Floor Structure	X			X
15.4	Foundation - Electrical	X			

IN = Inspected NI = Not Inspected NP = Not Present RR = Recommend Repair

Information

Inspection Method

Crawlspace Access



Foundation Wall Structure:

Material

Brick



Sub Floor Structure: Material

Wood Joist, Concrete Block Piers



Foundation - Crawlspace: Crawl Space Pictures (3-4 Required)



Foundation - Crawlspaces: Moisture readings



Sub Floor Structure: General Disclosure

The sub floor is wood joist & wood beams with plywood floor decking and wood mud/band sill. The upper level is assumed to be wood framing however, there is no under floor area to determine it's exact type.

Recommendations

15.1.1 Foundation Wall Structure

MICROBIAL GROWTH



Observed signs of microbial growth in one or more areas in the wall structure. Recommend further evaluation by a qualified professional to identify source or moisture intrusion and send samples to a lab for testing to determine the type of fungal growth present and IF remediation is necessary.

Recommendation

Contact a qualified professional.



15.1.2 Foundation Wall Structure

WOOD ROT CRAWL SPACE DOOR

Recommendation

Wood rot in door framing around crawl space entrance. Recommend repair by a qualified contractor to prevent pest intrusion.

Recommendation

Contact a qualified professional.



15.1.3 Foundation Wall Structure

EFFLORESCENCE ON WALLS

Recommendation

Efflorescence (powder substance) on the foundation wall indicates moisture is in contact with masonry. This does not necessarily mean that intrusion will occur. Recommend checking gutters, downspout drain lines for proper operation. Also the grading around the home can be a large factor. Efflorescence is found on many homes without water intrusion occurring inside the home. But it should alert you to the possibility that future steps may be needed.

Recommendation

Contact a qualified professional.



15.1.4 Foundation Wall Structure

DAMAGED ACCESS DOOR

Recommendation

The crawlspace access door was observed to be damaged and not properly secured, which may allow moisture, pests, or debris to enter the crawlspace and contribute to deterioration or unfavorable conditions below the home; recommend repair or replacement of the access door to ensure it is properly fitted and sealed.

Recommendation

Contact a qualified professional.



15.2.1 Foundation - Crawlspace

ELEVATED MOISTURE LEVELS (>20%)

 Recommendation

Discoloration, Elevated moisture readings observed in various areas throughout the crawl space. Efflorescence on perimeter walls suggests that water intrusion is occurring. Typically past and or present elevated moisture/humidity conditions are conducive to decaying the substructural members and can lead to fungal / microbial growth. Another contributing factor to elevated moisture is the lack of a properly installed vapor barrier. We recommend further evaluation by a professional moisture control contractor / company to develop measures or repairs to reduce the possibility for condensation accumulation and/or moisture intrusion and lower elevated moisture in the crawl space.

Recommendation

Contact a qualified waterproofing contractor



15.2.2 Foundation - Crawlspace

Recommendation

INSULATION - FALLEN / MISSING

There is no insulation installed in the flooring area of this home in the crawl space. This reduces the thermal efficiency of the home. We recommend insulation be installed and any damaged or defective insulation replaced to restore the thermal envelope of the home. All work to be done by a qualified insulation contractor.

Recommendation

Contact a qualified insulation contractor.



Crawl Space

15.2.3 Foundation - Crawlspace

Recommendation

INSULATION STRINGY

Insulation has fallen, drooping or stringy throughout areas of the crawl space. This usually indicates that there is or has been a moisture or vermin problem. Insulation that has been wet has compromised insulation capability and higher risk of fungal growth. Damaged insulation also has reduced thermal capacity and we recommend further evaluation by a qualified contractor and replace all defective insulation.

Recommendation

Contact a qualified insulation contractor.



15.3.1 Sub Floor Structure

Urgent or Safety Concern

LEANING PIER

A concrete masonry pier in the crawlspace was observed to be leaning, which may indicate settlement, improper installation, or loss of support and can compromise the structural support of the floor system above; recommend evaluation and correction by a qualified contractor to stabilize the pier and restore proper support.

Recommendation

Contact a qualified professional.



Crawl Space

STANDARDS OF PRACTICE

Inspection Details

Exterior

.1107 EXTERIOR (a) The home inspector shall inspect: (1) Wall cladding, flashings, and trim; (2) Entryway doors and a representative number of windows; (3) Garage door operators; (4) Decks, balconies, stoops, steps, areaways, porches, and appurtenant railings; (5) Eaves, soffits, and fascias; (6) Driveways, patios, walkways, and retaining walls; and (7) Vegetation, grading, and drainage with respect only to their effect on the condition of the building. (b) The home inspector shall: (1) Describe wall cladding materials; (2) Operate all entryway doors; (3) Operate garage doors manually or by using installed controls for any garage door operator; (4) Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and (5) Probe exterior wood components where deterioration is suspected. (c) The home inspector is not required to inspect: (1) Storm windows, storm doors, screening, shutters, and awnings; (2) Fences; (3) For the presence of safety glazing in doors and windows; (4) Garage door operator remote control transmitters; (5) Geological conditions; (6) Soil conditions; (7) Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities), except as otherwise required in 11 NCAC 8.1109(d)(5)(F); (8) Detached buildings or structures; or (9) For the presence or condition of buried fuel storage tanks.

Roofing

.1108 ROOFING (a) The home inspector shall inspect: (1) Roof coverings; (2) Roof drainage systems; (3) Flashings; (4) Skylights, chimneys, and roof penetrations; and (5) Signs of leaks or abnormal condensation on building components. (b) The home inspector shall: (1) Describe the type of roof covering materials; and (2) Report the methods used to inspect the roofing. (c) The home inspector is not required to: (1) Walk on the roofing; or (2) Inspect attached accessories including solar systems, antennae, and lightning arrestors.

Electrical

.1110 ELECTRICAL (a) The home inspector shall inspect: (1) Electrical service entrance conductors; (2) Electrical service equipment, grounding equipment, main overcurrent device, and interiors of panelboard enclosures unless unsafe conditions are reported; (3) Amperage and voltage ratings of the electrical service; (4) Branch circuit conductors, their overcurrent devices, and the compatibility of their ampacities at the interiors of panelboard enclosures unless unsafe conditions are reported; (5) The operation of a representative number of installed ceiling fans, lighting fixtures, switches, and receptacles located inside the house, garage, and on the dwelling's exterior walls; (6) The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; (7) The operation of ground fault circuit interrupters; and (8) Smoke detectors and installed carbon monoxide alarms. (b) The home inspector shall describe: (1) Electrical service amperage and voltage; (2) Electrical service entry conductor materials; (3) The electrical service type as being overhead or underground; and (4) The location of main and distribution panels. (c) The home inspector shall report in writing the presence of any readily accessible single strand aluminum branch circuit wiring. (d) The home inspector shall report in writing on the presence or absence of smoke detectors, and installed carbon monoxide alarms in any homes with fireplaces, fuel fired appliances, or attached garages, and operate their test function, if readily accessible, except when detectors are part of a central system. (e) The home inspector is not required to: (1) Insert any tool, probe, or testing device inside the panels; (2) Test or operate any overcurrent device except ground fault circuit interrupters; (3) Dismantle any electrical device or control other than to remove the covers of panelboard enclosures; or (4) Inspect: (A) Low voltage systems; (B) Security systems and heat detectors; (C) Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; (D) Built-in vacuum equipment; (E) Back up electrical generating equipment; (F) Other alternative electrical generating or renewable energy systems such as solar, wind, or hydro power; (G) Battery or electrical automotive charging systems; or (H) Electrical systems to swimming pools or spas, including bonding and grounding.

Plumbing

.1109 PLUMBING (a) The home inspector shall inspect: (1) Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; (2) Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; (3) Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; (4) Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and (5) Sump pumps. (b) The home inspector shall describe: (1) Water supply and distribution piping materials; (2) Drain, waste, and vent piping materials; (3) Water heating equipment, including fuel or power source, storage capacity or tankless point of use demand systems, and location; and (4) The location of any main water supply shutoff device. (c) The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. (d) The home inspector is not required to: (1) State the requirement for or effectiveness of anti-siphon devices; (2) Determine whether water supply and waste disposal systems are public or private or the presence or absence of backflow devices; (3) Operate automatic safety controls; (4) Operate any valve except water closet flush valves, fixture

faucets, and hose faucets; (5) Inspect: (A) Water conditioning systems; (B) Fire and lawn sprinkler systems; (C) On-site water supply quantity and quality; (D) On-site waste disposal systems; (E) Foundation irrigation systems; (F) Bathroom spas, whirlpools, or air jet tubs except as to functional flow and functional drainage; (G) Swimming pools; (H) Solar water heating equipment; or (I) Fixture overflow devices or shower pan liners; (6) Inspect the system for proper sizing, design, or use of materials. (7) Report on the absence or presence of thermal expansion tanks; or, (8) Report on the adequacy of the reported water heater capacity.

Heating Systems

.1111 HEATING (a) The home inspector shall inspect permanently installed heating systems including: (1) Heating equipment; (2) Normal operating controls; (3) Automatic safety controls; (4) Chimneys, flues, and vents, where readily visible; (5) Solid fuel heating devices; (6) Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and (7) The presence or absence of an installed heat source for each habitable space. (b) The home inspector shall describe the: (1) Energy source; and (2) Heating equipment and distribution type. (c) The home inspector shall operate the systems using normal operating controls appropriate to weather conditions at the time of the inspection. (d) The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector shall report the method of inspection used to inspect the heating system and whether or not access panels were removed. (e) The home inspector is not required to: (1) Operate heating systems when weather conditions or other circumstances may cause equipment damage or when inappropriate to weather conditions at the time of inspection; (2) Operate automatic safety controls; (3) Ignite or extinguish solid fuel fires; or (4) Ignite a pilot light; or (5) Inspect: (A) The interior of flues; (B) Fireplace insert flue connections; (C) Heat exchanges; (D) Humidifiers; (E) Electronic air filters; (F) The uniformity or adequacy of heat supply to the various rooms; or (G) Solar space heating equipment.

Air Conditioning Systems

.1112 AIR CONDITIONING (a) The home inspector shall inspect: (1) Central air conditioning and through-the-wall ductless installed cooling systems including: (A) Cooling and air handling equipment; and (B) Normal operating controls. (2) Cooling distribution systems including: (A) Fans, pumps, ducts and piping, with associated supports, dampers, insulation, air filters, registers, fancoil units; and (B) The presence or absence of an installed cooling source for each habitable space. (b) The home inspector shall describe the: (1) Energy sources; and (2) Cooling equipment type. (c) The home inspector shall operate the systems using normal operating controls appropriate to weather conditions at the time of the inspection. (d) The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector shall report the method used to inspect the air conditioning system and whether or not access panels were removed. (e) The home inspector is not required to: (1) Operate cooling systems when weather conditions or other circumstances may cause equipment damage; (2) Inspect window air conditioners; or (3) Inspect the uniformity or adequacy of cool-air supply to the various rooms.

HVAC Ducting

The Home Inspector shall inspect: Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; Cooling distribution systems including: (A) Fans, pumps, ducts and piping, with associated supports, dampers, insulation, air filters, registers, fan coil units; and (B) The presence or absence of an installed cooling source for each habitable space. The Home Inspector is NOT REQUIRED TO: determine (F) The uniformity or adequacy of **heat supply** to the various rooms; Inspect the uniformity or adequacy of **cool-air** supply to the various rooms.

Attic

.1106 STRUCTURAL COMPONENTS (a) The home inspector shall inspect structural components including: (1) Foundation; (2) Floors; (3) Walls; (4) Columns or piers; (5) Ceilings; and (6) Roofs. (b) The home inspector shall describe the type of: (1) Foundation; (2) Floor structure; (3) Wall structure; (4) Columns or piers; (5) Ceiling structure; and (6) Roof structure. (c) The home inspector shall: (1) Probe structural components where deterioration is suspected; (2) Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; (3) Report the methods used to inspect under floor crawl spaces and attics; and (4) Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

.1114 INSULATION AND VENTILATION (a) The home inspector shall inspect: (1) Insulation and vapor retarders in unfinished spaces; (2) Ventilation of attics and foundation areas; (3) Kitchen, bathroom, and laundry venting systems; and (4) The operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. (b) The home inspector shall describe: (1) Insulation in unfinished spaces; and (2) The absence of insulation in unfinished space at conditioned surfaces. (c) The home inspector is not required to report on: (1) Concealed insulation and vapor retarders; or (2) Venting equipment for household appliances that are not required to be inspected pursuant to the North Carolina Home Inspector Standards of Practice. (d) The home inspector shall: (1) Move insulation where readily visible evidence indicates a problem; and (2) Move floor insulation where plumbing drain/waste pipes penetrate floors, adjacent to earth-filled stoops or porches, and at exterior doors.

Interior Areas

.1113 INTERIORS (a) The home inspector shall inspect: (1) Walls, ceiling, and floors; (2) Steps, stairways, balconies, and railings; (3) Counters and a representative number of built-in cabinets; and (4) A representative number of doors and windows. (b) The home inspector shall: (1) Operate a representative number of windows and interior doors; and (2) Report

signs of water penetration into the building or signs of abnormal or harmful condensation on building components. (c) The home inspector is not required to inspect: (1) Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; (2) Carpeting; or (3) Draperies, blinds, or other window treatments; or (4) Coatings on and hermetic seals between panes of glass in windows and doors.

Kitchen

.1115 BUILT-IN KITCHEN APPLIANCES (a) The home inspector shall inspect and operate the basic functions of the following kitchen appliances: (1) Installed dishwasher(s), through a complete cycle; (2) Range(s), cook top(s), and permanently installed oven(s); (3) Trash compactor(s); (4) Garbage disposal(s); (5) Ventilation equipment or range hood(s); and (6) Installed microwave oven(s). (b) The home inspector is not required to inspect: (1) Clocks, timers, self-cleaning oven functions, or thermostats for calibration or automatic operation; (2) Non built-in appliances; or (3) Refrigeration units. (c) The home inspector is not required to operate: (1) Appliances in use; or (2) Any appliance that is shut down or otherwise inoperable.

Foundation-Basements-Crawlspaces-Slab

.1106 STRUCTURAL COMPONENTS (a) The home inspector shall inspect structural components including: (1) Foundation; (2) Floors; (3) Walls; (4) Columns or piers; (5) Ceilings; and (6) Roofs. (b) The home inspector shall describe the type of: (1) Foundation; (2) Floor structure; (3) Wall structure; (4) Columns or piers; (5) Ceiling structure; and (6) Roof structure. (c) The home inspector shall: (1) Probe structural components where deterioration is suspected; (2) Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; (3) Report the methods used to inspect under floor crawl spaces and attics; and (4) Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.