



4012681
4012681

METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970
historicalcommission@nashville.gov

HISTORICAL COMMISSION PERMIT - 2021043014

Entered on: 08-Jul-2021

Site Address

1501 LINDEN AVE
NASHVILLE TN, 37212

Historic District: Belmont-Hillsboro NCZO

Parcel Owner

GUNNISON INVESTMENTS, LLC 618 HAMILTON AVE
NASHVILLE, TN 37203

Purpose: Construct Outbuilding.And separate poolhouse.

CLADDING & TRIM - All/any trim, railings, vents and associated type elements are to be wood or cement fiberboard. Clad material is not approved. Wood or cement fiberboard shall be a smooth face material void of any simulated wood grain pattern or rough, unfinished appearance. All exposed exterior lumber should be grade number #1 or #2. Lower grade lumber is unsuitable for exterior work.

WINDOWS AND DOORS – Windows and doors on clapboard structures shall not have brick-mold and shall have 4” nominal wood casings.

General - MHZC Staff may have added notes to submitted drawings that are a part of this permit. Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken or materials being purchased. Attached drawings represent what is approved by MHZC and so must match drawings submitted to other departments.

All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans are the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique facts and circumstances of this particular application.

This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

THIS IS NOT A BUILDING PERMIT nor does it permit any particular type of use. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

APPLICANT: Martin Wieck

Activities to be Completed - Call: (615) 862-7970 or Email: historicalcommission@nashville.gov

REVIEWS REQUIRED:

ROOFING COLOR APPROVAL PRIOR TO INSTALL - HZ

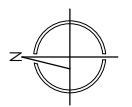
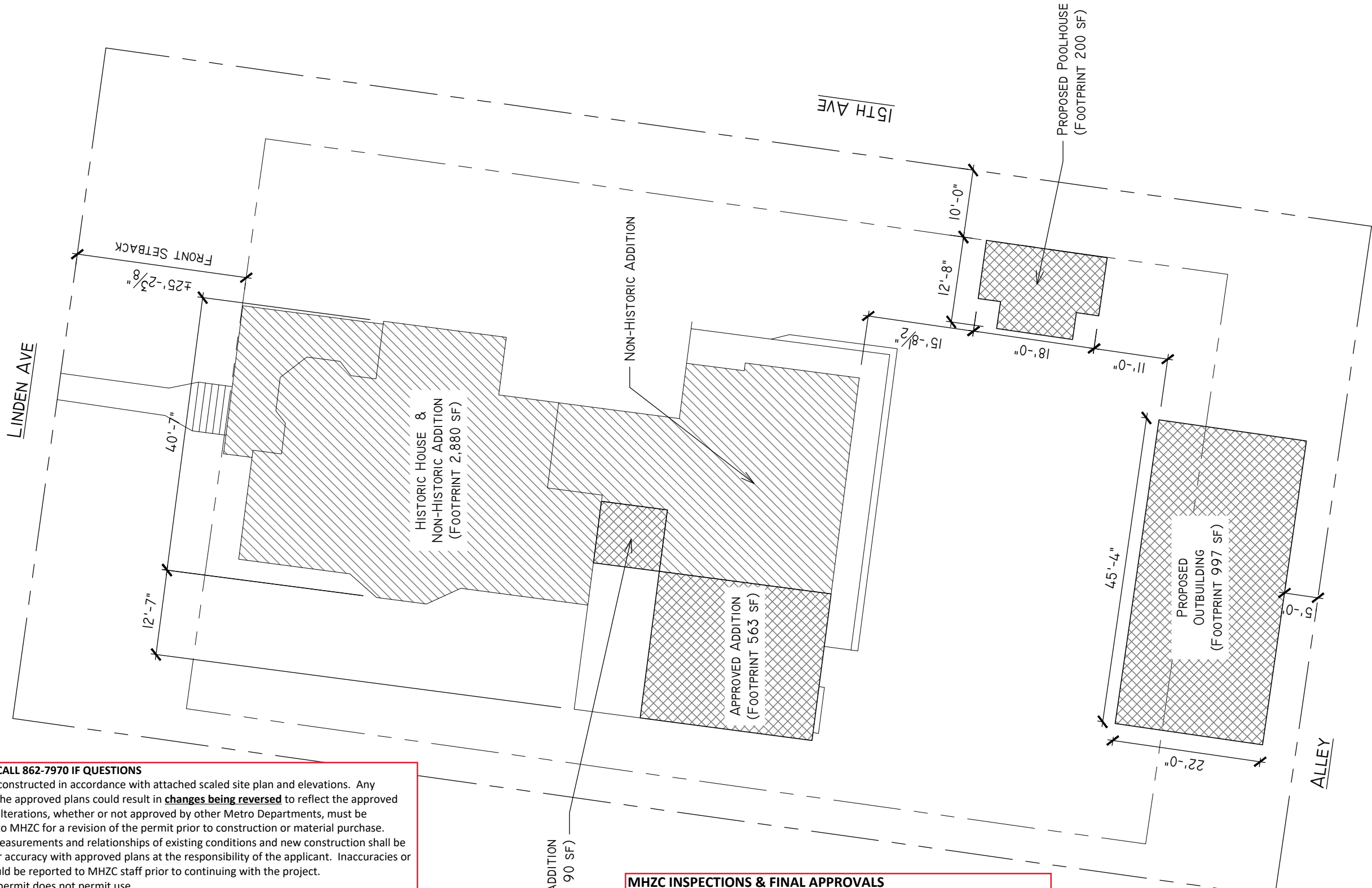
WINDOWS APPROVAL PRIOR TO INSTALL - HZ
GARAGE DOOR APPROVAL PRIOR TO INSTALL - HZ
DOOR APPROVAL PRIOR TO INSTALL - HZ
MASONRY APPROVAL PRIOR TO INSTALL - HZ
HVAC LOCATION - HZ

INSPECTIONS REQUIRED:

FIELD STAKING INSPECTION - HZ
FOUNDATION CHECK INSPECTION - HZ
ROUGH FRAMING INSPECTION - HZ
PROGRESS INSPECTION - HZ
DORMER INSPECTION - HZ
FINAL INSPECTION - HZ

Issued Date: 26-Jul-2021

Issued By: Melissa Baldock



ARCHITECTURAL SITE PLAN
SCALE: 1/16"=1'-0"

NOT FOR CONSTRUCTION

REV: 0 DATE: 06.25.21 DESC: MHZC SUBMISSION

NINE12 ARCHITECTS PROJECT #20208

NEW OUTBUILDINGS AT:
1501 LINDEN AVE.
NASHVILLE, TN 37212



INFO@NINE12ARCHITECTS.COM
615.761.9902
WWW.NINE12ARCHITECTS.COM

SITE PLAN

01

MHZC NOTES; CALL 862-7970 IF QUESTIONS
Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.

- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
- This permit does not permit use.
- Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
- Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
- Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
- For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). Siding exposure shall have a maximum reveal of five (5) inches.
- Four inch (nominal) wood corner-boards are required at the face of each exposed corner

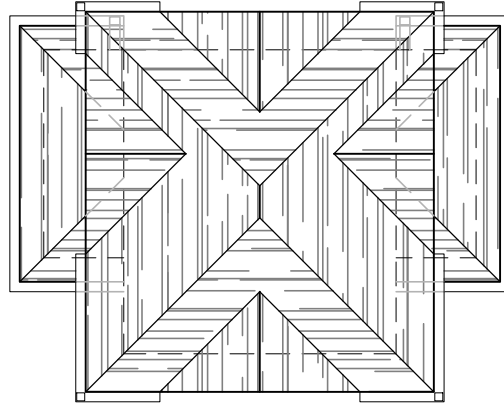
MHZC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

- Staff must approve the construction progress at the following points:
 - After the building footprint has been field staked
 - After the foundation wall has been constructed
 - After the rough framing has been completed
- The following must be submitted for final approval before purchase:
 - Windows and doors
 - Roof shingle color

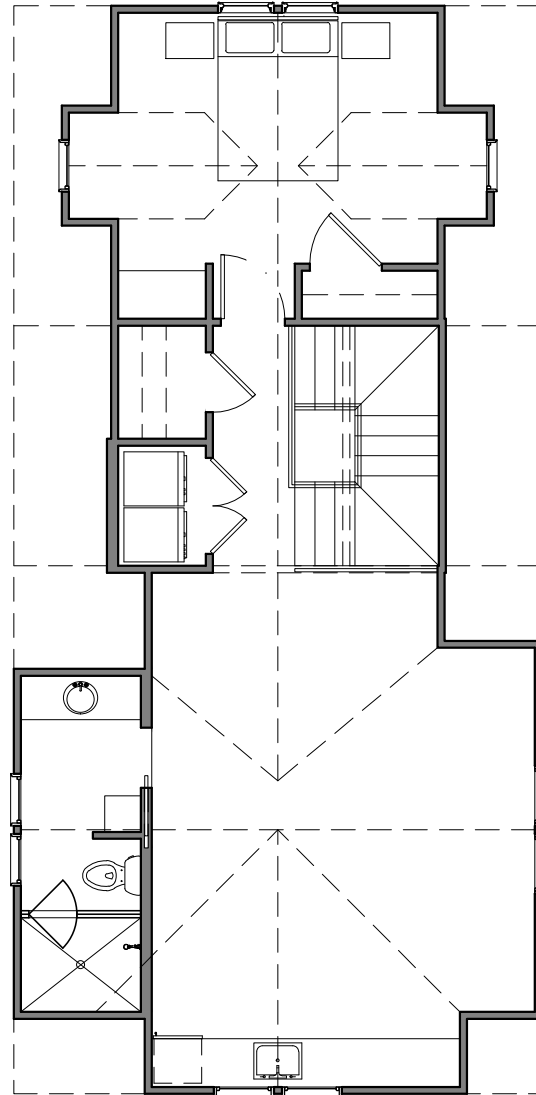
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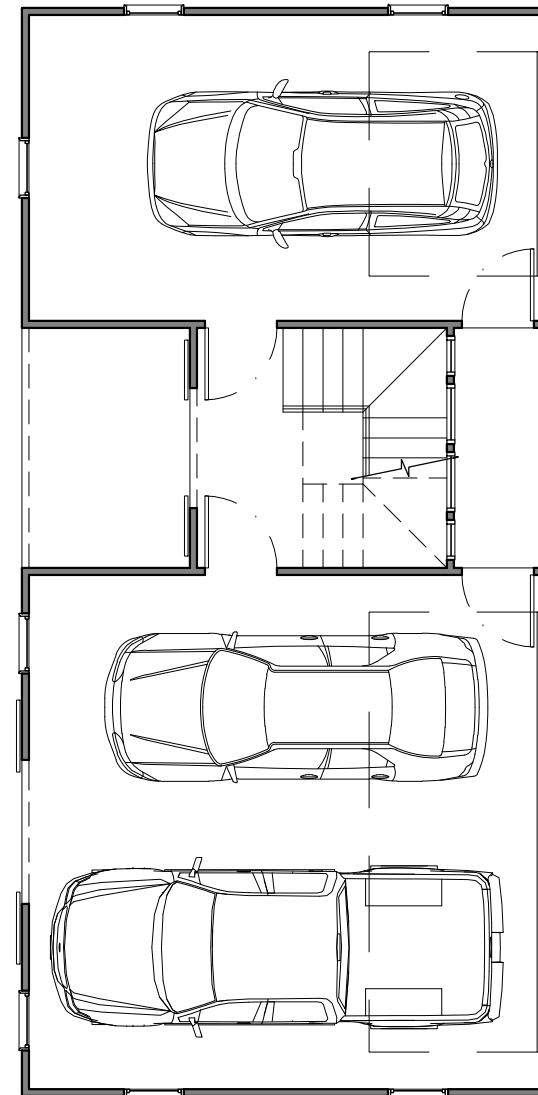
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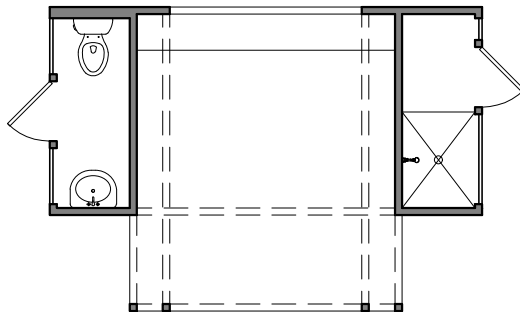
4 POOL HOUSE ROOF PLAN
SCALE: 1/8"=1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



3 POOL HOUSE PLAN
SCALE: 1/8"=1'-0"

MHZC INSPECTIONS & FINAL APPROVALS

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 - c. After the rough framing has been completed
2. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof shingle color

NOT FOR CONSTRUCTION

NINE12 ARCHITECTS PROJECT #20208

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FLOOR PLANS

02

REV: 0 DATE: 06.25.21 DESC: MHZC SUBMISSION

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MHZC INSPECTIONS & FINAL APPROVALS
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NOTE: 25'-0" MAXIMUM FROM AVERAGE GRADE PER MHZC @ CLERESTORY TOWER. ADJUST PLT HGT AS NECESSARY OR CONSULT W/ ARCHITECT



4 EAST ELEVATION
 SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
 SCALE: 1/8"=1'-0"



3 WEST ELEVATION
 SCALE: 1/8"=1'-0"



1 NORTH ELEVATION
 SCALE: 1/8"=1'-0"

NOT FOR CONSTRUCTION

REV:	DATE:	DESC:
0	06.25.21	MHZC SUBMISSION
1	07.26.21	MHZC REVISIONS

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EXTERIOR ELEVATIONS

03

MH2C NOTES; CALL 862-7970 IF QUESTIONS

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MH2C INSPECTIONS & FINAL APPROVALS

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NOT FOR CONSTRUCTION

REV:	DATE:	DESC:
0	06.25.21	MH2C SUBMISSION

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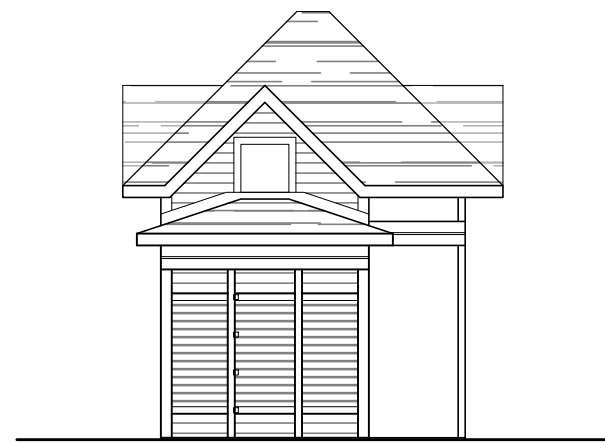
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EXTERIOR ELEVATIONS

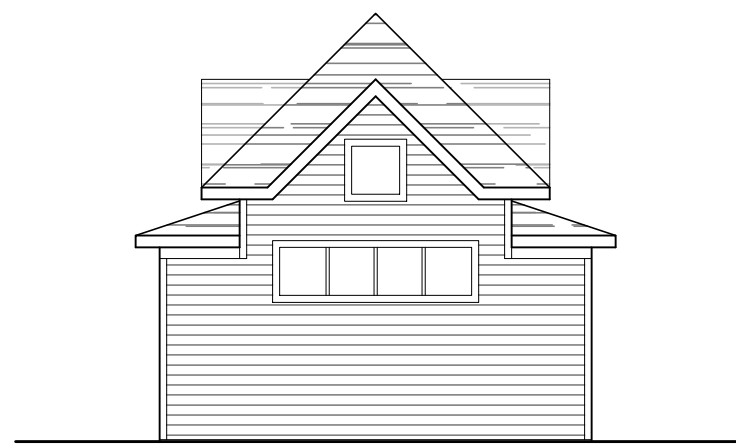
04



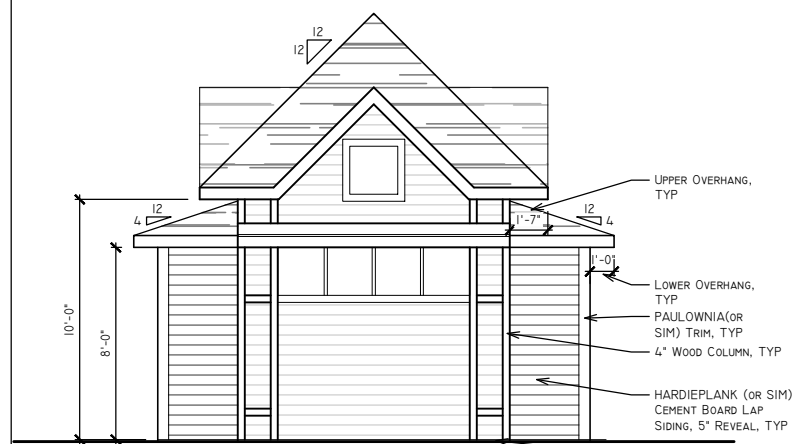
4 SOUTH ELEVATION
 SCALE: 1/4"=1'-0"



2 NORTH ELEVATION
 SCALE: 1/4"=1'-0"



3 EAST ELEVATION
 SCALE: 1/4"=1'-0"



1 WEST ELEVATION
 SCALE: 1/4"=1'-0"

- UPPER OVERHANG, TYP
- LOWER OVERHANG, TYP
- PAULOWNIA (OR SIM) TRIM, TYP
- 4" WOOD COLUMN, TYP
- HARDIEPLANK (OR SIM) CEMENT BOARD LAP SIDING, 5" REVEAL, TYP
- CONC PORCH SLAB, TYP