



3869606
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METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970
historicalcommission@nashville.gov

HISTORICAL COMMISSION PERMIT - 2020055412

Entered on: 03-Sep-2020

Site Address

2806 OAKLAND AVE
NASHVILLE TN, 37212

Historic District: Belmont-Hillsboro NCZO

Parcel Owner

LAYTON HOMES 2 LLC
2806 OAKLAND AVE
NASHVILLE, TN 37212

Purpose: Construct DADU. See HCP 2020055397 for addition permit.

CLADDING & TRIM - All/any trim, railings, vents and associated type elements are to be wood or cement fiberboard. Clad material is not approved. Wood or cement fiberboard shall be a smooth face material void of any simulated wood grain pattern or rough, unfinished appearance. All exposed exterior lumber should be grade number #1 or #2. Lower grade lumber is unsuitable for exterior work.

WINDOWS - Windows on clapboard structures shall not have brick-mold and shall have 4" nominal wood casings. In the case of additions, only those windows marked on the attached scaled plans are approved for replacement.

DOORS - Doors on clapboard structures shall not have brick-mold and shall have 4" nominal wood casings.

MHZC Staff may have added notes to submitted drawings that are a part of this permit. Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken or materials being purchased.

All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique facts and circumstances of this particular application.

This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

THIS IS NOT A BUILDING PERMIT nor does it permit any particular type of use. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

APPLICANT: Martin Wieck, Nine 12 Architects

Activities to be Completed - Call: (615) 862-7970 or Email: historicalcommission@nashville.gov

REVIEWS REQUIRED:

ROOFING COLOR APPROVAL PRIOR TO INSTALL - HZ

WINDOWS APPROVAL PRIOR TO INSTALL - HZ

GARAGE DOOR APPROVAL PRIOR TO INSTALL - HZ

DOOR APPROVAL PRIOR TO INSTALL - HZ

INSPECTIONS REQUIRED:

FIELD STAKING INSPECTION - HZ

FOUNDATION CHECK INSPECTION - HZ

ROUGH FRAMING INSPECTION - HZ

PROGRESS INSPECTION – HZ

FINAL INSPECTION - HZ

Issued Date: 30-Oct-2020

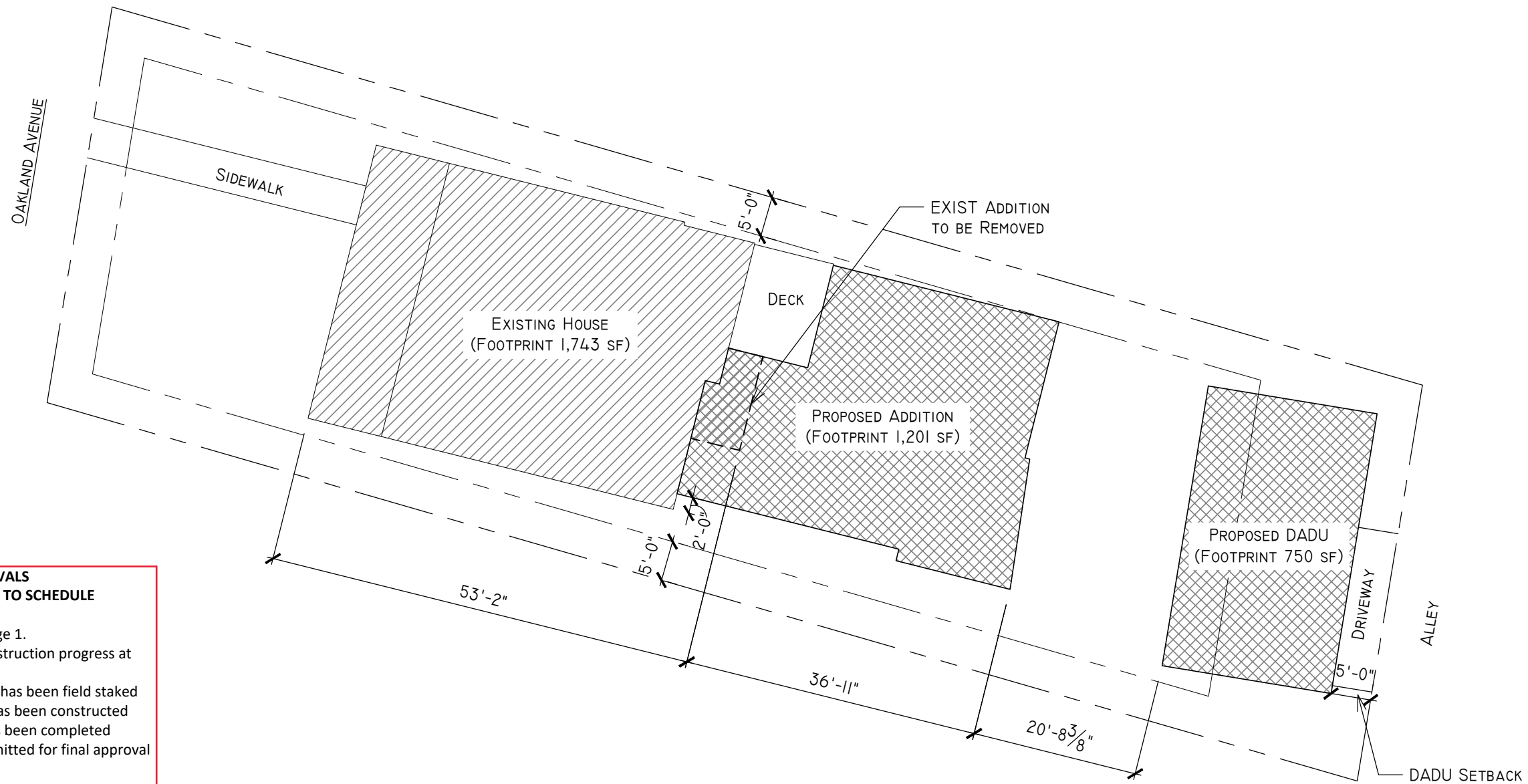
Issued By: Melissa Baldock

MHHC NOTES; CALL (615) 862-7970 FOR QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHHC for a revision of the permit prior to construction or material purchase.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHHC staff prior to continuing with the project.
3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. Removal all of the cladding, windows, doors and roofing on a contributing house is considered partial demolition and must be reviewed by the MHHC. Removal of one of these items alone, in a neighborhood conservation zoning overlay, is not reviewed.
7. Retention of original casings and replacement of just window sashes is encouraged where window replacement is necessary.
8. Alteration of original windows sizes is considered partial demolition and must be reviewed by the MHHC.
9. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
10. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
11. For non-masonry buildings, 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

**MHHC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE
INSPECTIONS**

1. Please refer to notes on page 1.
2. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color
 - c. Masonry



NOT FOR CON

REV: 0 DATE: 08.31.20 DESC: MHHC SUBMISSION

NINE12 ARCHITECTS PROJECT #20206

ADDITION, RENOVATION, & DADU AT:
2806 OAKLAND AVE.
NASHVILLE, TN 37212



INFO@NINE12ARCHITECTS.COM
615.761.9902
WWW.NINE12ARCHITECTS.COM

SITE PLAN
01

1
ARCHITECTURAL SITE PLAN
SCALE: 1/16"=1'-0"



4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2 NORTH ELEVATION
SCALE: 1/8"=1'-0"

MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS

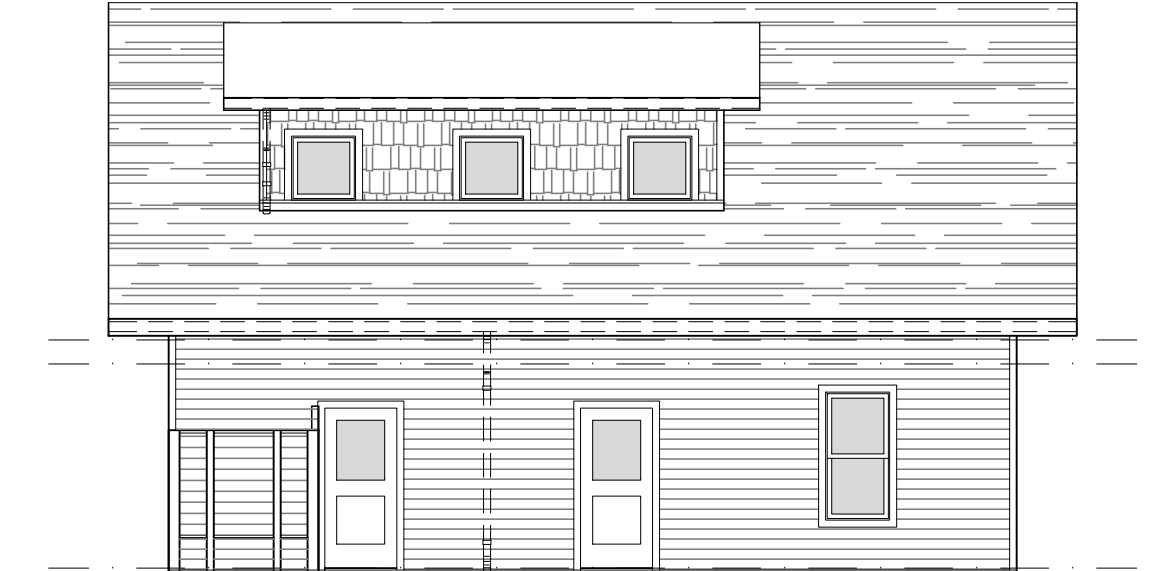
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3 EAST ELEVATION
SCALE: 1/8"=1'-0"



1 WEST ELEVATION
SCALE: 1/8"=1'-0"

NOT FOR CONSTRUCTION

REV:	DATE:	DESC:
0	08.31.20	MHZC SUBMISSION

NINE12 ARCHITECTS PROJECT #20206
 ADDITION, RENOVATION, & DADU AT:
2806 OAKLAND AVE.
 NASHVILLE, TN 37212



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EXTERIOR ELEVATIONS

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