



3869578
3869578

METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970
historicalcommission@nashville.gov

HISTORICAL COMMISSION PERMIT - 2020055397

Entered on: 03-Sep-2020

Site Address

2806 OAKLAND AVE
NASHVILLE TN, 37212

Historic District: Belmont-Hillsboro NCZO

Parcel Owner

LAYTON HOMES 2 LLC
2806 OAKLAND AVE
NASHVILLE, TN 37212

Purpose: Construct rear addition. See HCP 2020055412 for DADU permit.

ROOFING

- Roofing material shall be asphalt composite shingles. Color shall match existing or if not, it shall be approved by the MHZC prior to purchase.
- Gutters shall be simple metal gutters.

WINDOWS & DOORS

- Windows shall have single-light or fully-simulated, divided-light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin, and a spacer within the double-paned glass. Window manufacturer and type must be approved by MHZC staff prior to installation. Double and triple windows shall have a 4" to 6" mullion between.
- Door manufacturer and type must be approved by MHZC staff prior to installation.
- Four (4) inch (nominal) wood casings are required around doors, windows, and vents within clapboard walls.
- Windows on clapboard structures shall not have brick-mold.

SIDING & TRIM

- Siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
- 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

HVAC

- HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.

GENERAL SPECIFICATIONS

- Alterations to be constructed in accordance with attached elevations. Any deviation from the approved plans could result in changes being reversed to reflect the approved drawings. Please note: MHZC staff may have added notes to the submitted drawings.
- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
- Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken.
- The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique facts and circumstances of this particular application.
- This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.
- Removal of cladding, windows and roofing on the existing building all-together is "partial-demolition" and must be reviewed by the MHZC prior to work taking place.

Approval of design should not be considered approval of a particular use. - THIS IS NOT A BUILDING PERMIT. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

APPLICANT: Martin Wieck, Nine12 Architects

Activities to be Completed - Call: (615) 862-7970 or Email: historicalcommission@nashville.gov

REVIEWS REQUIRED:

ROOFING COLOR APPROVAL PRIOR TO INSTALL - HZ

WINDOWS APPROVAL PRIOR TO INSTALL - HZ

DOOR APPROVAL PRIOR TO INSTALL - HZ

MASONRY APPROVAL PRIOR TO INSTALL - HZ

HVAC LOCATION - HZ

INSPECTIONS REQUIRED:

FIELD STAKING INSPECTION - HZ

FOUNDATION CHECK INSPECTION - HZ

ROUGH FRAMING INSPECTION - HZ

PROGRESS INSPECTION – HZ

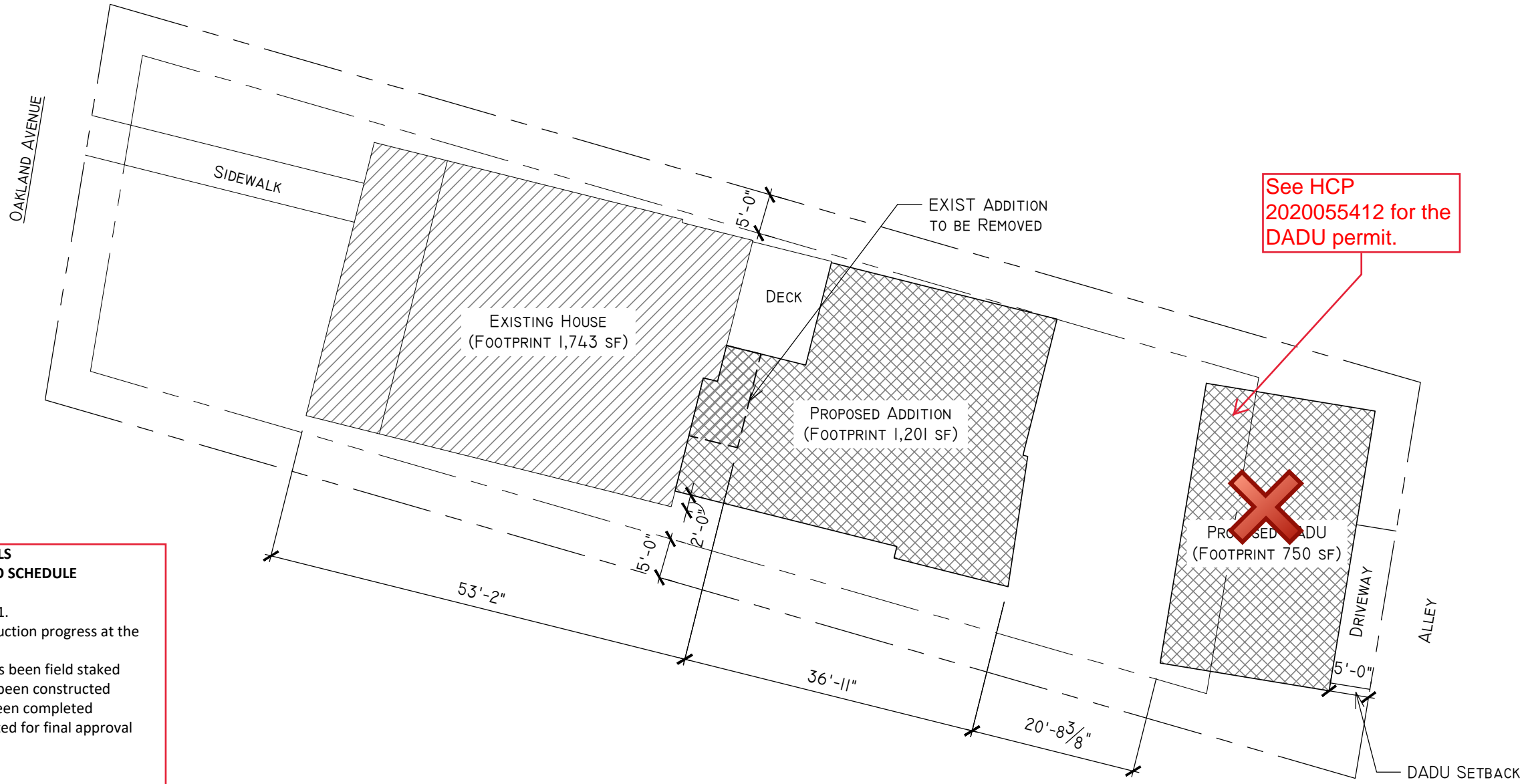
FINAL INSPECTION - HZ

Issued Date: 03-Dec-2020

Issued By: Melissa Baldock

MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. Removal all of the cladding, windows, doors and roofing on a contributing house is considered partial demolition and must be reviewed by the MHZC. Removal of one of these items alone, in a neighborhood conservation zoning overlay, is not reviewed.
7. Retention of original casings and replacement of just window sashes is encouraged where window replacement is necessary.
8. Alteration of original windows sizes is considered partial demolition and must be reviewed by the MHZC.
9. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
10. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
11. For non-masonry buildings, 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.



MHZC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Please refer to notes on page 1.
2. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color
 - c. Masonry

NOT FOR CONSTRUCTION

REV:	DATE:	DESC:
0	08.31.20	MHZC SUBMISSION

NINE12 ARCHITECTS PROJECT #20206
 ADDITION, RENOVATION, & DADU AT:
2806 OAKLAND AVE.
 NASHVILLE, TN 37212



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 615.761.9902
 WWW.NINE12ARCHITECTS.COM

SITE PLAN
01

1
ARCHITECTURAL SITE PLAN
 SCALE: 1/16"=1'-0"

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NINE12 ARCHITECTS PROJECT #20206

ADDITION, RENOVATION, & DADU AT:

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NASHVILLE, TN 37212

REV: 0

DATE: 08.31.20

DESC: MHZC SUBMISSION



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FLOOR
PLANS

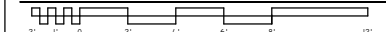
02

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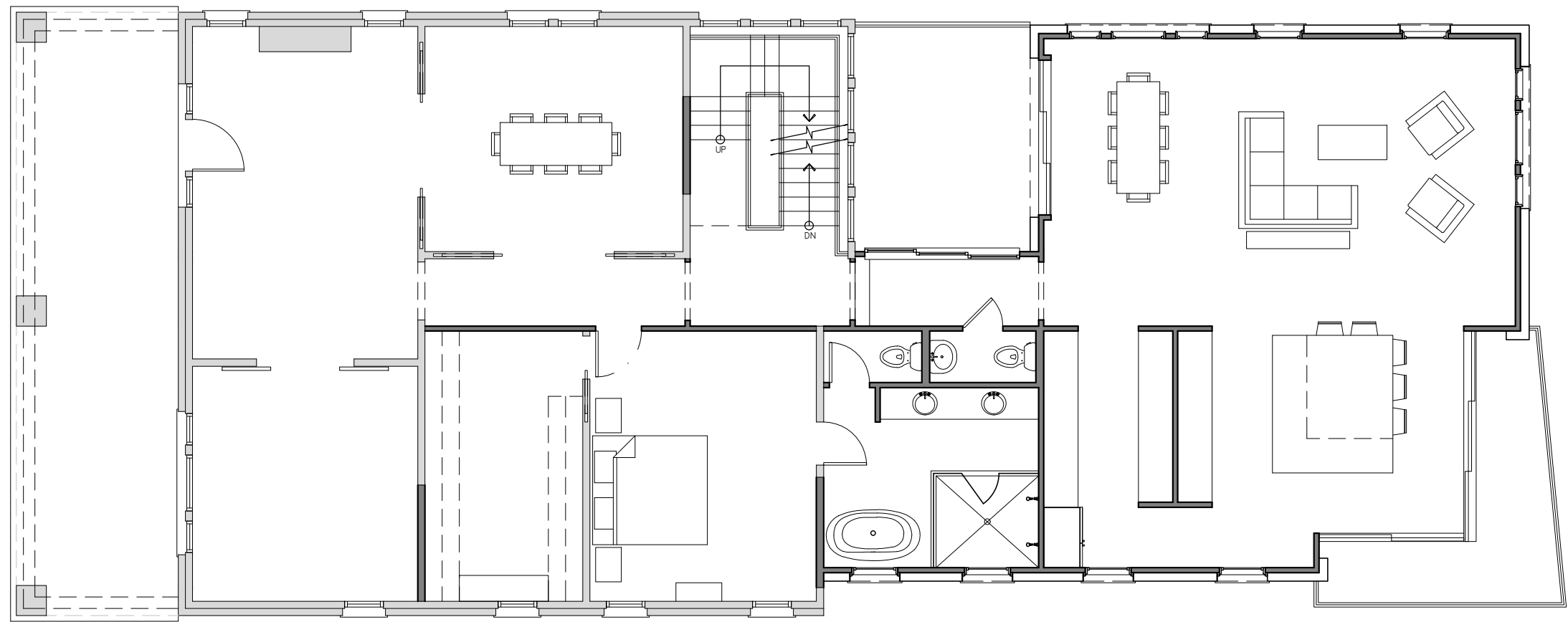
BASEMENT PLAN



SCALE: 1/8"=1'-0"

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MHZC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE
INSPECTIONS

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NOT FOR CONSTRUCTION

NINE12 ARCHITECTS PROJECT #20206

ADDITION, RENOVATION, & DADU AT:
2806 OAKLAND AVE.
 NASHVILLE, TN 37212

REV:	DATE:	DESC:
0	08.31.20	MHZC SUBMISSION



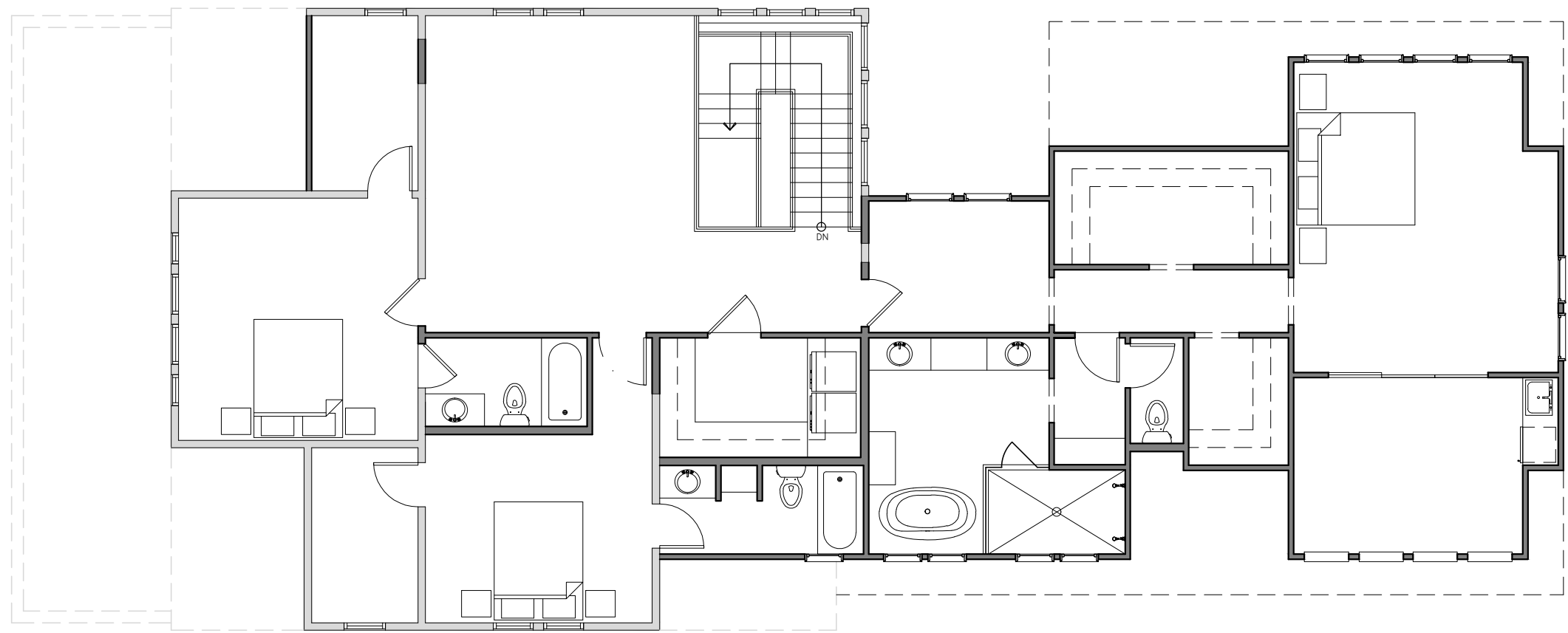
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1
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

FLOOR
 PLANS
03

MHWC NOTES; CALL (615) 862-7970 FOR QUESTIONS

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NOT FOR CONSTRUCTION

REV:	DATE:	DESC:
0	12.03.20	MHWC REVISIONS

NINE12 ARCHITECTS PROJECT #20206
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FLOOR
 PLANS
04

1
SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

MHZC INSPECTIONS & FINAL APPROVALS
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1 WEST ELEVATION
SCALE: 1/8"=1'-0"

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NOT FOR CONSTRUCTION

REV:	DATE:	DESC:
0	12.03.20	MHZC REVISIONS

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EXTERIOR ELEVATIONS

05



2 NORTH ELEVATION
SCALE: 1/8"=1'-0"

NOT FOR CONSTRUCTION

REV: 0 DATE: 12.03.20 DESC: MHZC REVISIONS

MHZC INSPECTIONS & FINAL APPROVALS
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1 EAST ELEVATION
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EXTERIOR ELEVATIONS
06