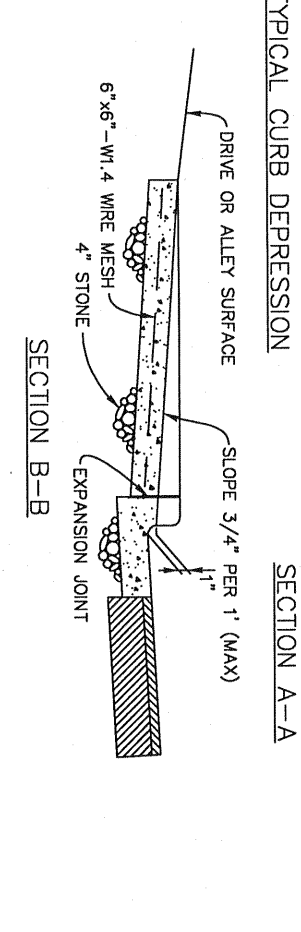


**E-28 MODIFIED CONCRETE DRIVEWAY RAMP DETAIL**



**TOWN OF SMYRNA LAND DISTURBANCE MANAGEMENT GUIDELINES**

**FOR AREAS UNDER ONE ACRE**

The purpose of the Land Disturbance Management Guidelines is to provide Developers and Contractors with guidelines to implement during deep and wide construction activities of the State. The guidelines are applicable to projects with disturbed areas less than one acre for which a grading permit is required. The following guidelines shall be included as a condition of any grading permit, on-site inspection by the Public Works Department, and as a condition of any stormwater management plan. There shall be adequate construction phase erosion prevention and sediment control measures in place to minimize the dislodging and suspension of soil in storm water runoff. Such measures shall be designed to retain runoff sediment as provided under the Town of Smyrna Storm Water Management Ordinance.

1. Erosion prevention and sediment control measures must be in place and functional prior to any construction activity. Erosion prevention and sediment control measures shall be designed and installed throughout the project.

2. Erosion prevention and sediment control measures must be properly selected, installed and maintained in accordance with the manufacturer's specifications and good engineering practices. Erosion prevention and sediment control measures shall be installed and maintained until the construction activities are completed and the site is stabilized. When steep slopes and/or fine particle soils are present at the site, additional physical or chemical treatment of storm water runoff may be required.

3. All erosion control measures must be properly selected, installed and maintained in accordance with the manufacturer's specifications and good engineering practices. Erosion prevention and sediment control measures shall be installed and maintained until the construction activities are completed and the site is stabilized. When steep slopes and/or fine particle soils are present at the site, additional physical or chemical treatment of storm water runoff may be required.

4. All erosion control measures shall be properly selected, installed and maintained in accordance with the manufacturer's specifications and good engineering practices. Erosion prevention and sediment control measures shall be installed and maintained until the construction activities are completed and the site is stabilized. When steep slopes and/or fine particle soils are present at the site, additional physical or chemical treatment of storm water runoff may be required.

5. All erosion control measures shall be properly selected, installed and maintained in accordance with the manufacturer's specifications and good engineering practices. Erosion prevention and sediment control measures shall be installed and maintained until the construction activities are completed and the site is stabilized. When steep slopes and/or fine particle soils are present at the site, additional physical or chemical treatment of storm water runoff may be required.

6. Pre-construction vegetative ground cover shall not be destroyed, removed or degraded.

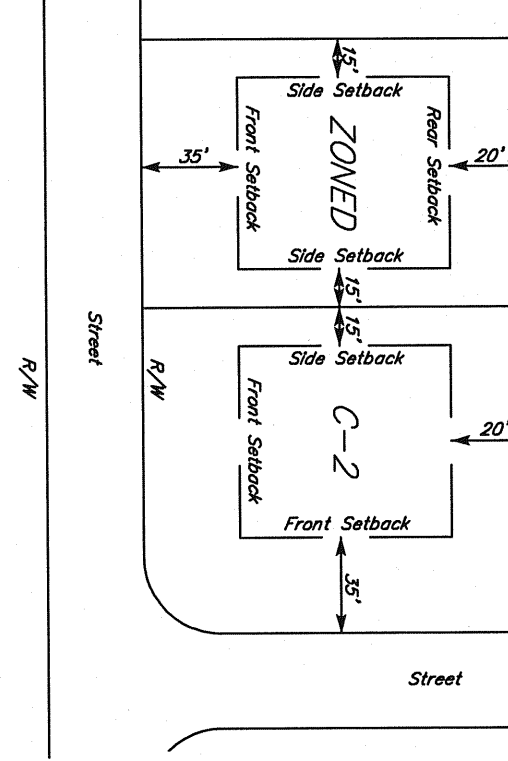
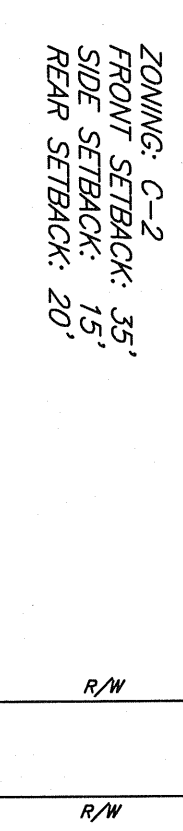
7. All existing Town of Smyrna storm water inlets (i.e. culverts, catch basins, headwalls, pipes, etc.) shall be adequately protected to minimize the entrance of sediment and/or construction debris into the town's storm water system.

8. A point of entrance and exit to the construction site shall be provided as needed to minimize the tracking of mud, dirt and gravel onto public roads by vehicles.

9. 60-foot wide natural riparian buffer zone adjacent to the receiving stream or water body shall be maintained. Construction activities shall be prohibited within the extent of the riparian buffer zone. The maximum extent of the riparian buffer zone shall be determined by the Town of Smyrna Storm Water Management Ordinance and may result in the issuance of a stop-work order and/or citation to court.

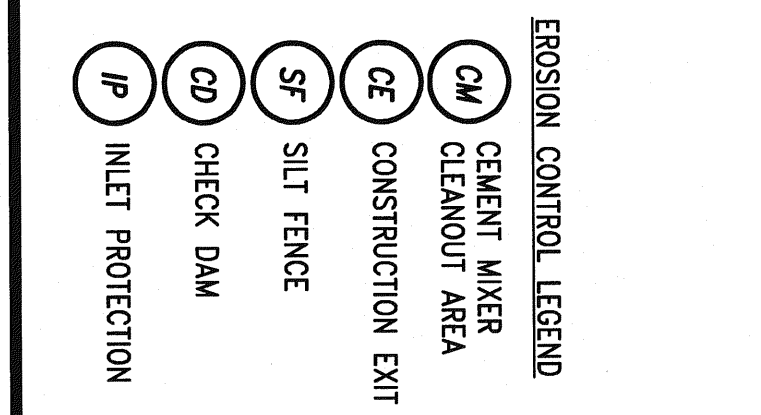
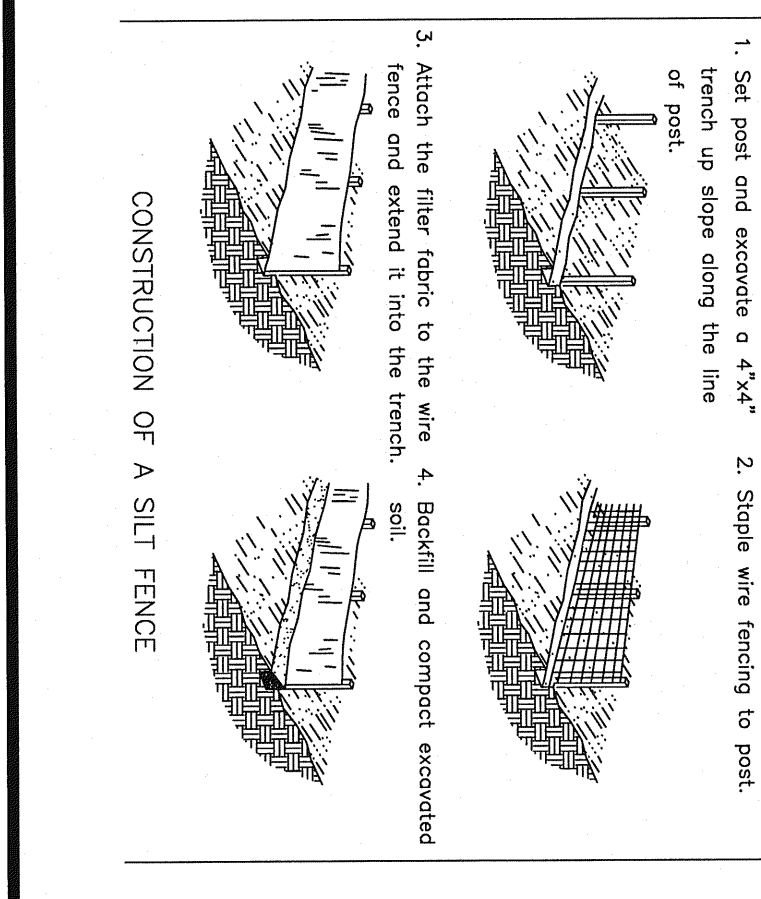
**NOTES**

1. IN TENNESSEE, IT IS A REQUIREMENT PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS. NOTIFICATION OF KNOWN UNDERGROUND UTILITY OWNERS MUST BE OBTAINED FROM THE COUNTY RECTOR OR DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
2. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE MOST RECENT RECORD DRAWINGS AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT CANNOT BE GUARANTEED.
3. NO ACCESS TO OR CONSTRUCTION WITHIN THE RIGHT-OF-WAY OF SAW RIDELEY PARKWAY EAST.
4. THE RESPONSIBILITY OF EACH BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER WITHOUT FLOODING IN THE LOT OR UNDER THE STRUCTURE, FROM HIS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY HIM, SHALL BE THE RESPONSIBILITY OF THE BUILDER.
5. OR PRESERVATION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
6. PUBLIC UTILITY AND DRAINAGE ESSENTIALS WHERE SHOWN HEREON ARE INTENDED TO BE CONVEYED TO THE BUILDER BY THE BUILDER AND SHALL BE THE RESPONSIBILITY OF THE BUILDER.
7. UTILITIES AND DRAINAGE ESSENTIALS, INCLUDING BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUITS, DRAINAGE PIPES AND MANHOLE LIDS.
8. THIS PLAN IS NOT TO BE USED AS A BASIS FOR OBTAINING A PERMIT FROM THE TOWN OF SMYRNA.



**EROSION CONTROL LEGEND**

- CM CEMENT MIXER CLEANOUT AREA
- CE CONSTRUCTION EXIT
- SF SILT FENCE
- CD CHECK DAM
- IP INLET PROTECTION



**SITE DATA**

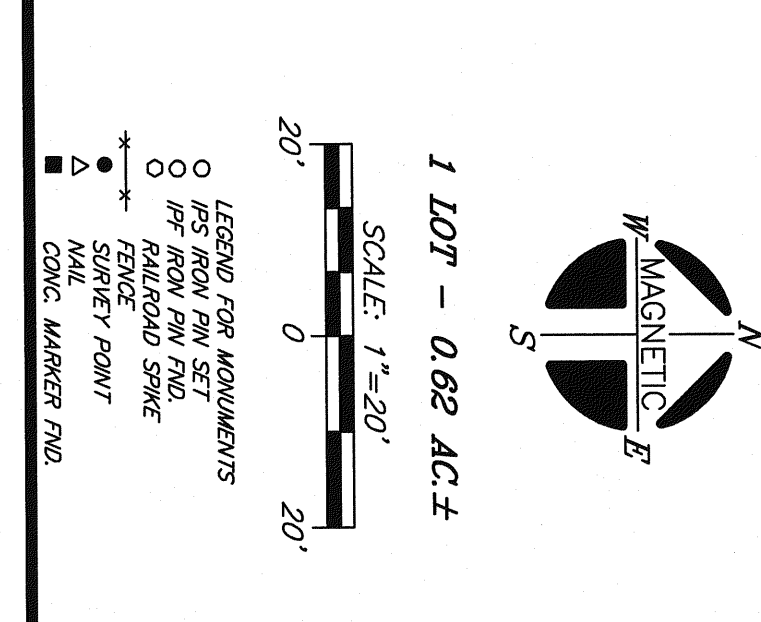
SITE AREA: 0.62 AC ±
PROPOSED USE: PROFESSIONAL SERVICES - MEDICAL
PROPOSED PAVED AREA: 4,100 / 300 SQFT = 14 SPACES
PARKING PROVIDED: 28 SPACES (INCL. 2 HANDICAP)
PROPOSED PAVED AREA: 14,150 SQFT.
PROPOSED CONCRETE SIDEWALK AREA: 1,798 S.F.
PROPOSED IMPERVIOUS AREA: 20,008 S.F. (0.046 AC)
TOTAL DISTURBED AREA: 26,399 SQFT. (0.61 AC)

**OWNER:** FIRSTBANK  
**ADDRESS:** 615 MEMORIAL BLVD  
**MURFREESBORO, TN 37129**

**DEVELOPER:** DR. TONY ADAMS  
**ADDRESS:** 741 PRESIDENT PLACE  
**SMYRNA, TN 37167**

**TAX MAP: 19-0** GROUP 'A' PARCEL: 14,100  
**FLAT BOOK: 34** PAGE: 194

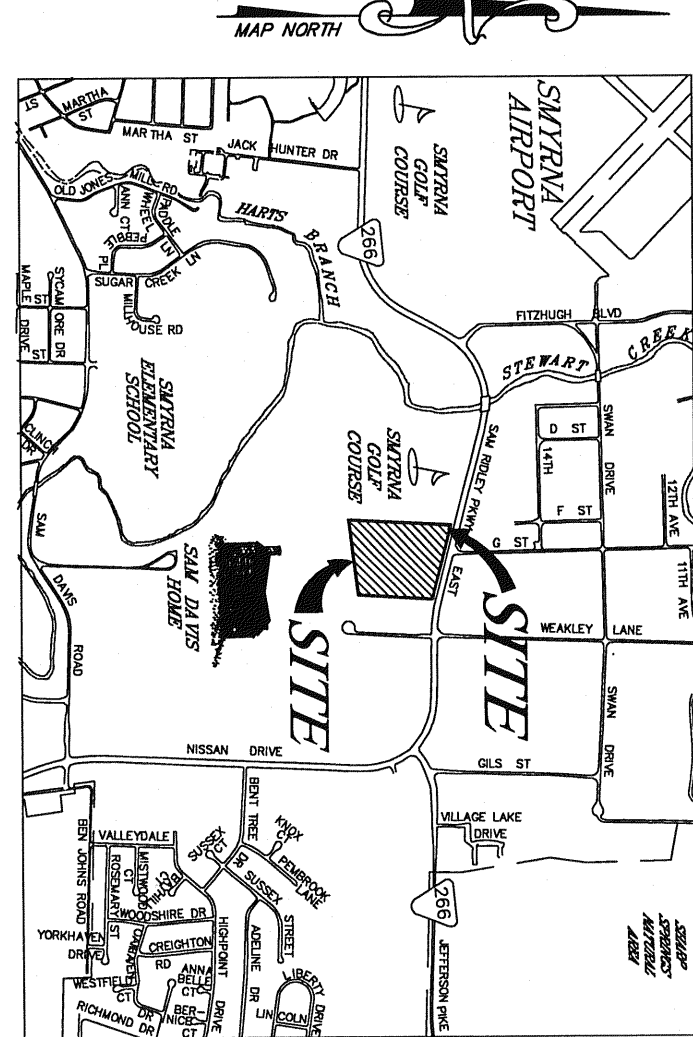
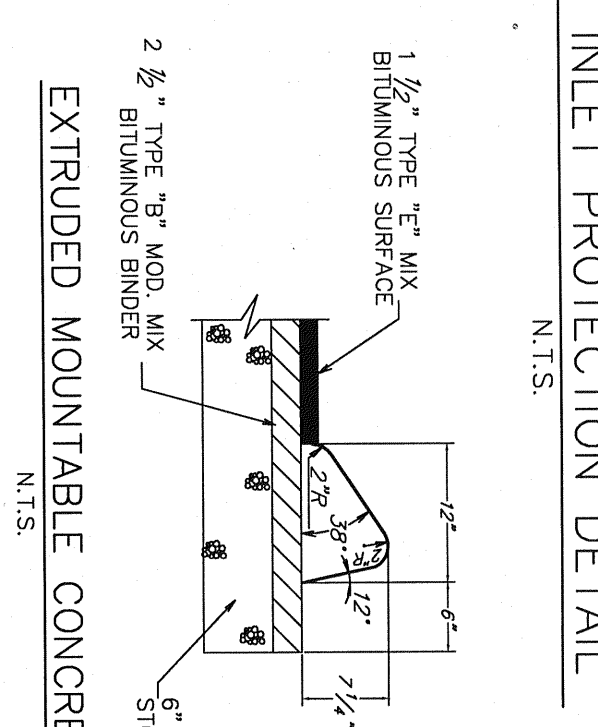
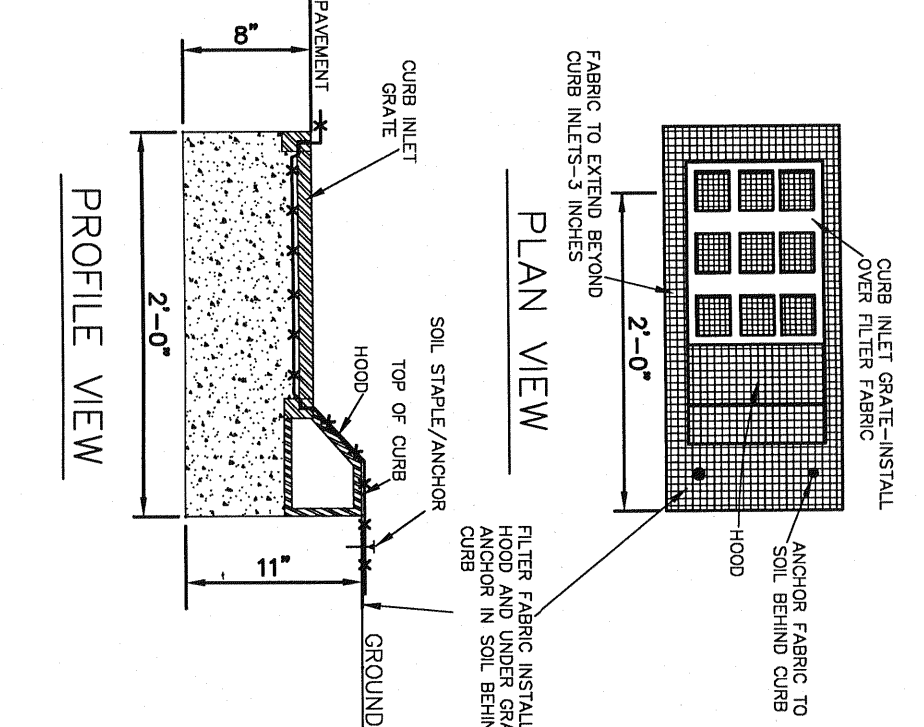
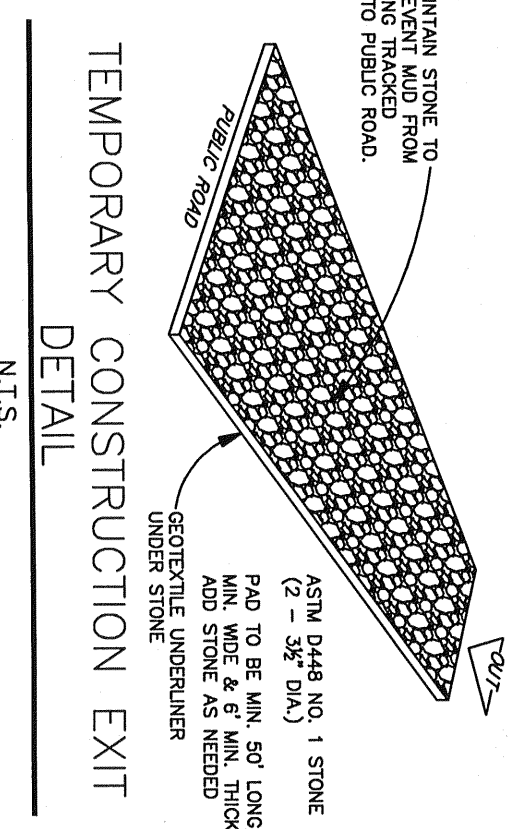
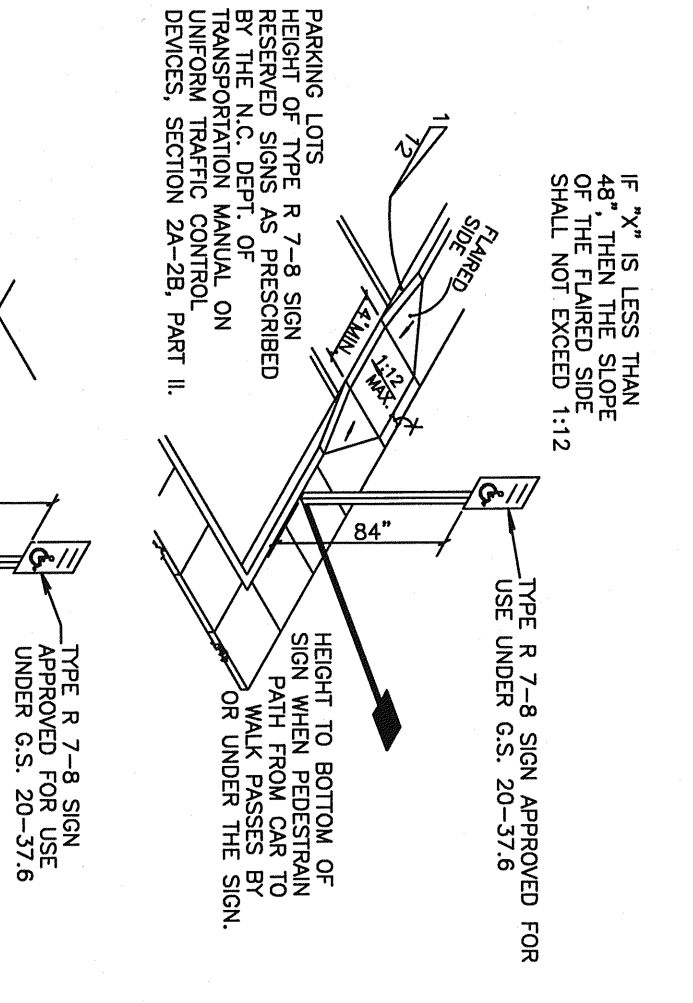
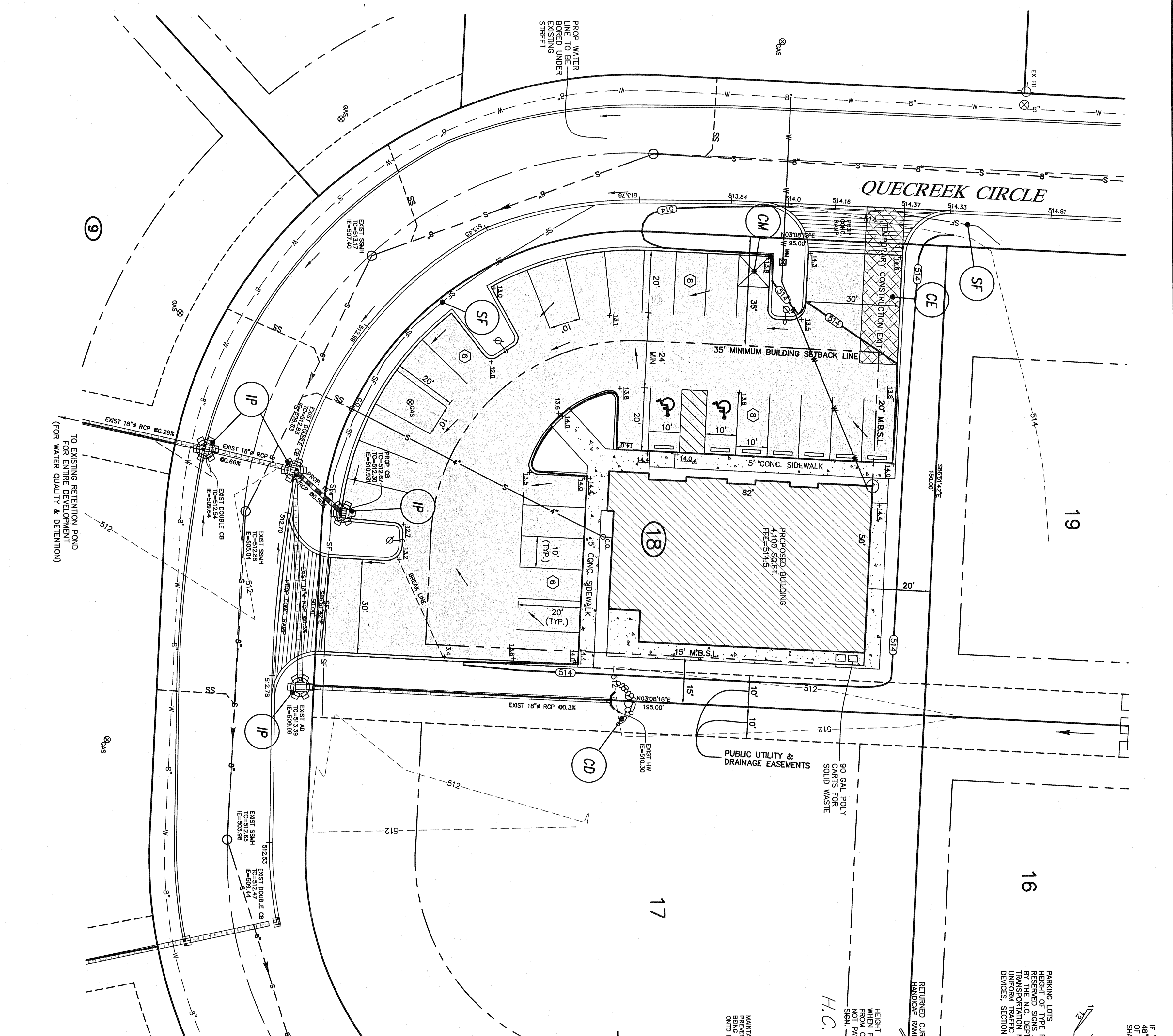
THIS PARCEL IS NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL RURAL HAZARD AREA" COMMUNITY MAP: 470169 0107 'A' ZONE: 'X'  
**DATED:** OCT. 16, 2008



**FRS HUDDLESTON-STEEL ENGINEERS & ARCHITECTS**  
 1115 N.W. BEARD STREET, MURFREESBORO, TN 37129  
 PHONE: (615) 898-1111 FAX: (615) 898-0080

**DR. TONY ADAMS**  
 LOT 18, SECTION 1, LEONARD CLAUDE JONES  
 PROPERTY SUBDIVISION

3rd CIVIL DISTRICT - BUTTERBORO COUNTY - TN  
**DATE:** MARCH 2013 **SCALE:** 1"=20' **SH:** 1 OP 1



**LEGEND**

- Power Pole
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Reduced
- Proposed Gate Valve & Box
- Concrete Inlet Block
- Existing Repaired Water Line
- Proposed Repaired Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Existing Dam
- Proposed Dam
- Existing Contours
- Proposed Spot Elevations
- Existing Spot Elevations
- Proposed Spot Elevations
- Proposed Fence or Stow Gate Barrier (to be installed before grading and drainage until established over all disturbed areas.)
- Rip-Rap (6" min. dia., 1" thick per TDOT Specifications)
- 1/4" Reinforcement Matting

**RESURFACING VIEW**

**CHECK DAM**

**N.T.S.**

**SITE PLAN**

NO.	DATE	DESCRIPTION
0	03/18/13	ORIGINAL ISSUE
1	03/25/13	REVISED PER STAFF & DEVELOPER COMMENTS
2	04/03/13	REVISED PER OWNER REQUEST
3	04/16/13	REVISED PER OWNER REQUEST