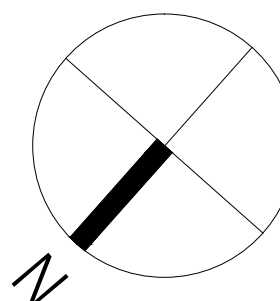
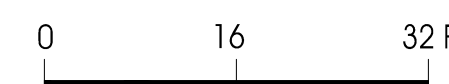
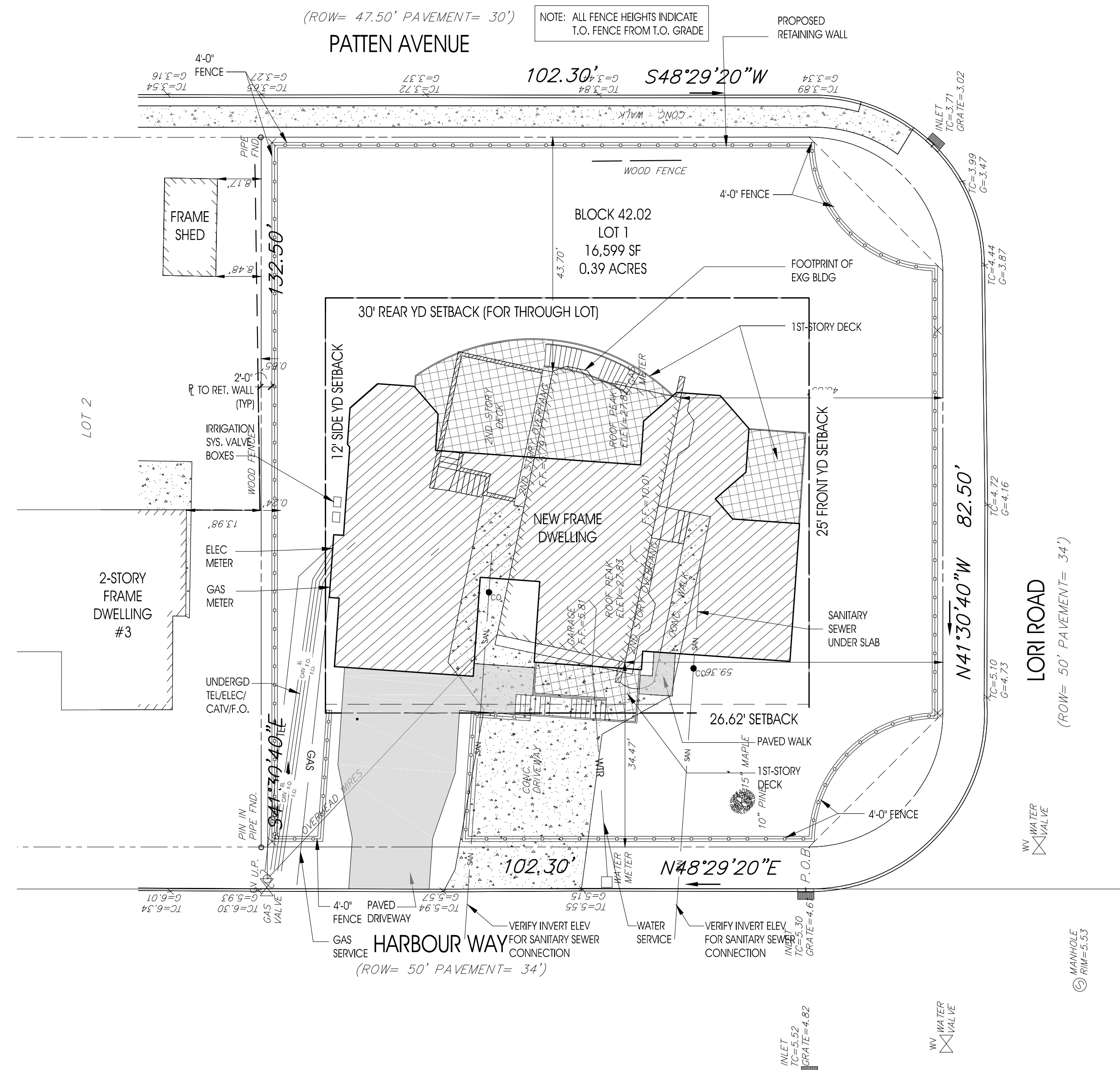
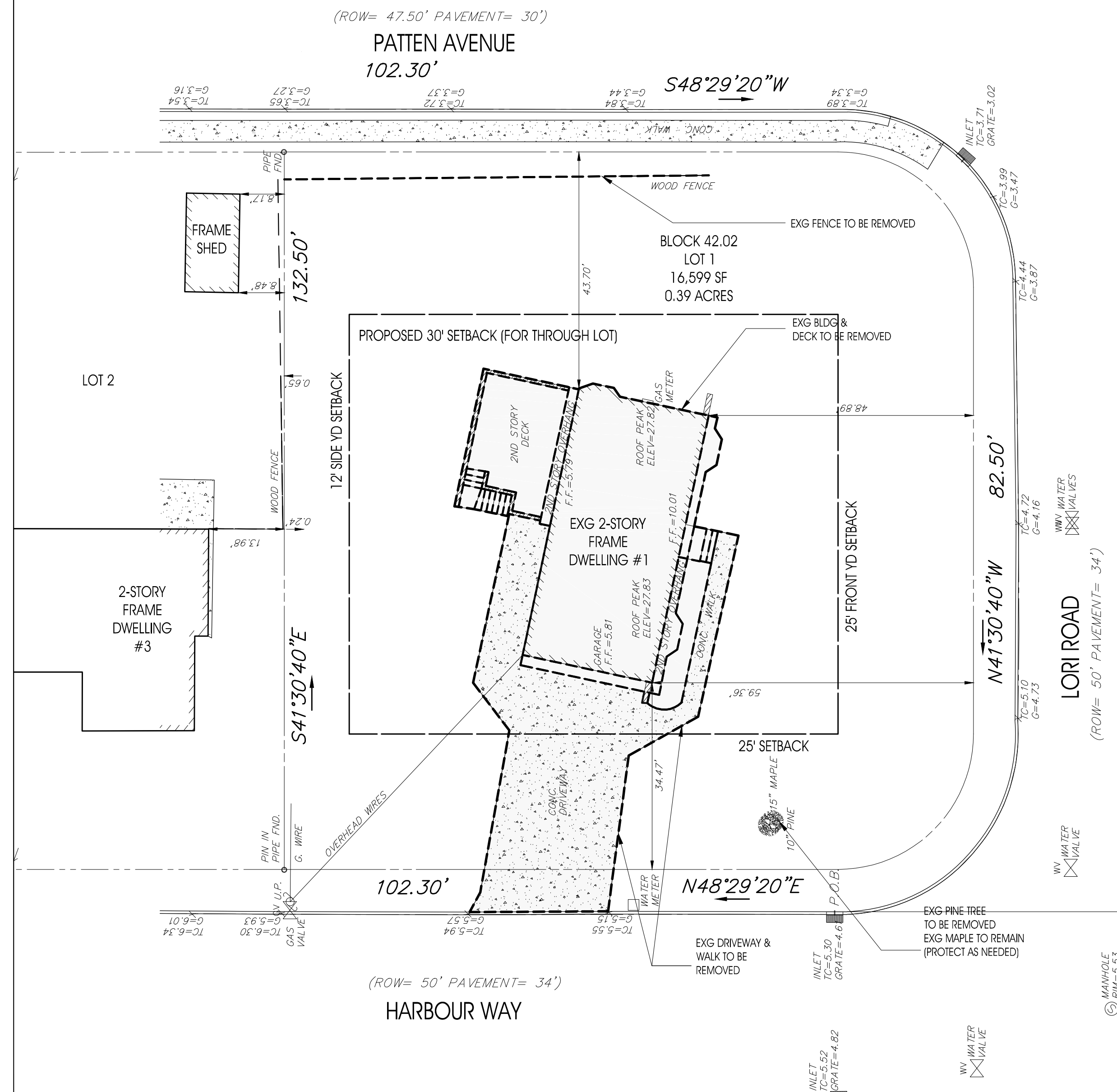
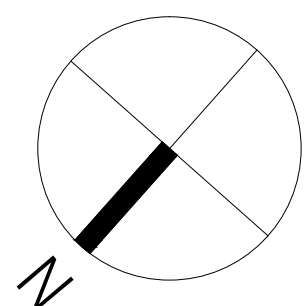


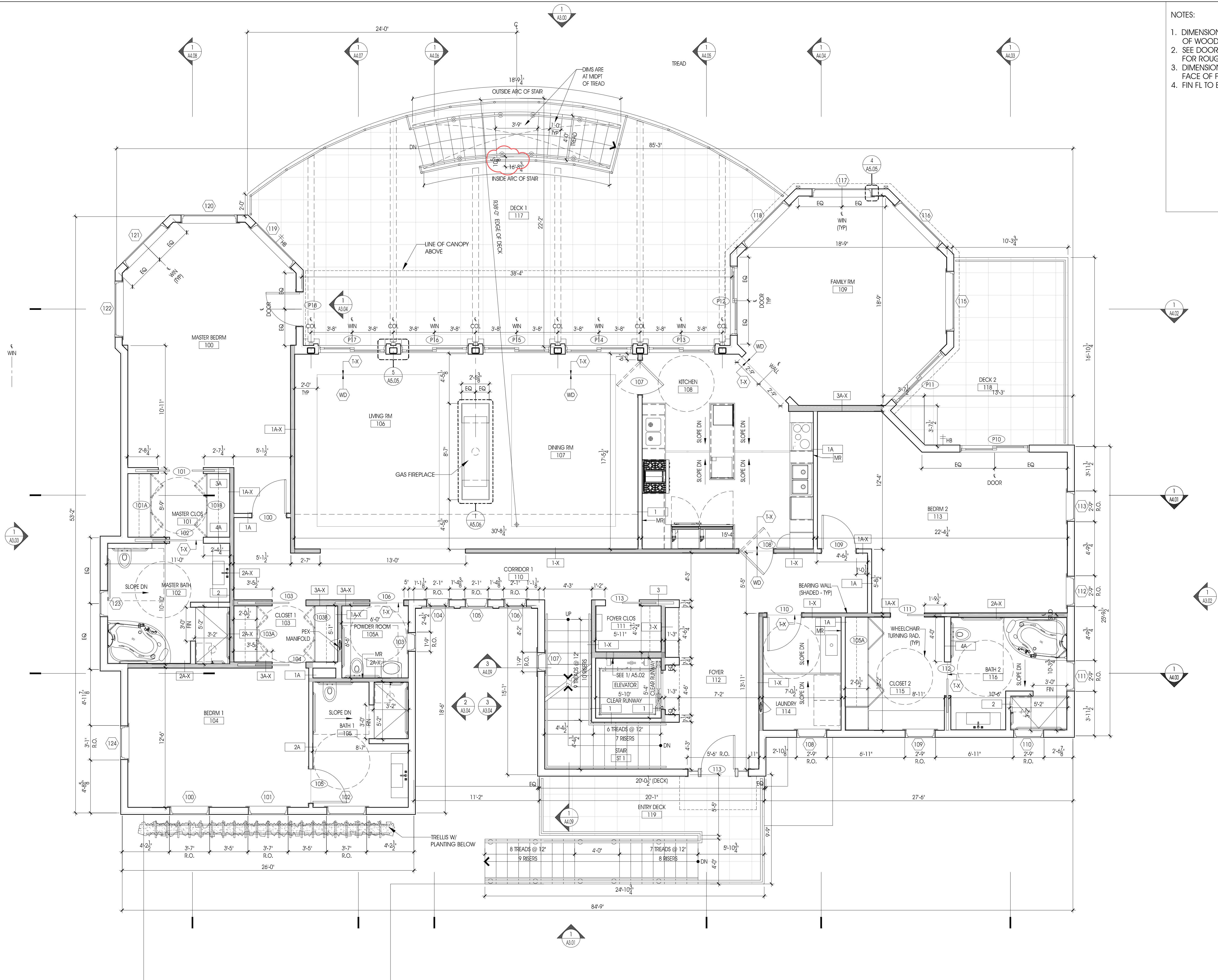
GENERAL NOTES & SPECIFICATIONS

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<div>DIVISION 00 - CONTRACTING REQUIREMENTS</div> <div>1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, INSPECTIONS, AND REQUIRED APPROVALS TO COMPLETE THE WORK.</div> <div>2. EXISTING CONDITIONS</div> <div>A.THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING THE SITE AND VERIFYING THE EXISTING CONDITIONS, INCLUDING THE LOCATION OF UTILITIES. NOTIFY ARCHITECT OF CONDITIONS DIFFERING FROM THOSE INDICATED ON THE DRAWINGS.</div> <div>DIVISION 01 - GENERAL REQUIREMENTS</div> <div>1. SUMMARY</div> <div>A.THE CONTRACT SHALL CONSIST OF ALL EQUIPMENT, MATERIALS, LABOR, AND DEVICES REQUIRED TO COMPLETE THE WORK PROPERLY. ITEMS NOT EXPRESSLY SET FORTH BUT WHICH ARE REASONABLE IMPLIED OR NECESSARY FOR THE PROPER PERFORMANCE OF THIS WORK SHALL BE INCLUDED.</div> <div>B. THE CONTRACTOR SHALL BRING TO THE IMMEDIATE ATTENTION OF THE ARCHITECT ANY INCONSISTENCIES BETWEEN THE DRAWINGS AND THE SPECIFICATIONS.</div> <div>C.THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THE DRAWINGS AND ANY GOVERNING BUILDING CODES AND ORDINANCES. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AND MANUFACTURERS' SPECIFICATIONS.</div> <div>D.CONTRACTOR SHALL ADHERE TO THE RULES AND REGULATIONS OF OSHA FOR THIS PROJECT.</div> <div>E. THIS PROJECT SHALL MEET THE CONSTRUCTION REQUIREMENTS OF THE NEW JERSEY RECONSTRUCTION, REHABILITATION, ELEVATION, AND MITIGATION (RREM) PROGRAM. SEE THE CERTIFICATION OF CONSTRUCTION REQUIREMENTS DATED 5/7/2015 AND SIGNED BY WILLIAM MEYER (RREM ID# RRE0026425).</div> <div>2.PROJECT MANAGEMENT AND COORDINATION</div> <div>A.CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND THE WORK OF ALL TRADES AND SHALL ADMINISTER THE CONSTRUCTION SCHEDULE FOR ALL SUBCONTRACTORS TO ENSURE SEQUENTIAL AND ORDERLY INSTALLATION TO OBTAIN THE BEST RESULTS.</div> <div>3.SUBMITTAL PROCEDURES</div> <div>A.SUBMIT PRODUCT LITERATURE AND SAMPLES OF ALL SPECIFIED ITEMS REQUIRING OWNER'S SELECTION OR VERIFICATION. SUBMIT SHOP DRAWINGS WHERE REQUIRED BY THE DRAWINGS AND SPECIFICATIONS.</div> <div>B.SUBMITTAL SCHEDULE: BEFORE APPROVAL OF ANY SUBMITTALS IS REQUIRED, SUBMIT A SCHEDULE OF ALL ITEMS TO BE SUBMITTED, WITH DATES BY WHICH APPROVAL WILL BE REQUIRED.</div> <div>C.SCHEDULE SUBMITTALS TO ALLOW THE ARCHITECT ADEQUATE TIME FOR REVIEW AND APPROVAL, AND TO ALLOW ADEQUATE TIME BETWEEN APPROVAL OF SUBMITTED ITEMS AND THEIR INCORPORATION INTO THE WORK.</div> <div>4.REFERENCES</div> <div>ASHRAE AMERICAN SOCIETY OF HEATING, REFRIGERATING, AND AIR-CONDITIONING ENGINEERS</div> <div>ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS</div> <div>NEC NATIONAL ELECTRIC CODE</div> <div>NSPC NATIONAL STANDARD PLUMBING CODE</div> <div>NFPA NATIONAL FIRE PROTECTION ASSOCIATION</div> <div>OSHA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION</div> <div>SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION</div> <div>TCNA TILE COUNCIL OF NORTH AMERICA</div> <div>UL UNDERWRITERS LABORATORIES</div> <div>5.PRODUCT REQUIREMENTS</div> <div>A.PROVIDE PRODUCTS AND MATERIALS SPECIFIED. NO SUBSTITUTIONS FOR SPECIFIED ITEMS SHALL BE ALLOWED WITHOUT APPROVAL FROM ARCHITECT OR OWNER. WHERE A PARTICULAR ITEM IS NOT SPECIFIED, CONTRACTOR SHALL SUBMIT INFORMATION OR SAMPLES OF AN ITEM FOR APPROVAL IN SUFFICIENT TIME TO AVOID DELAYING PROGRESS OF THE WORK.</div> <div>B.DELIVER, STORE, AND HANDLE PRODUCTS USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION, LOSS, AND THEFT AND IN COMPLIANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCTS SHALL BE PROPERLY STORED AND PROTECTED IN A CLEAN AND DRY ENVIRONMENT.</div> <div>C.ALL EQUIPMENT AND MATERIALS INCORPORATED IN THE WORK SHALL BE NEW AND DELIVERED IN UNOPENED PACKAGES UNLESS NOTED OTHERWISE.</div>	<div>6.EXECUTION</div> <div>A.CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT, AND FOR VERIFYING ALL DIMENSIONS, ETC. PRIOR TO AND DURING CONSTRUCTION. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE ARCHITECT'S IMMEDIATE ATTENTION FOR RESOLUTION.</div> <div>B. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES, SEQUENCES, MEANS, AND SAFETY. CONTRACTOR SHALL PROVIDE INSURANCE NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM DAMAGE, PROPERTY LOSS, AND PERSONAL INJURY DURING THE COURSE OF CONSTRUCTION.</div> <div>C.LABOR, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE HIGHEST STANDARDS IN THE INDUSTRY AND SHALL BE PERFORMED BY QUALIFIED MECHANICS AND TECHNICIANS UTILIZING THE HIGHEST LEVEL OF CRAFTSMANSHIP.</div> <div>D.ALL EQUIPMENT, MATERIALS, PRODUCTS, ASSEMBLIES, AND SYSTEMS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTION. USE EXPERIENCED INSTALLERS. FURNISH EVIDENCE OF EXPERIENCE IF REQUESTED.</div> <div>E. EXAMINE AND PROPERLY PREPARE ALL SUB-BASES AND SUBSTRATES PRIOR TO INSTALLATION OF PRODUCTS AND MATERIALS.</div> <div>F. ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED LEVEL, PLUMB, AND TRUE.</div> <div>G.REMOVED AND REPLACE WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS AT NO ADDITIONAL EXPENSE TO THE OWNER.</div> <div>H.PROTECT COMPLETED WORK AND INSTALLED ITEMS WITH COVERINGS AND/OR BARRICADES TO PREVENT DAMAGE FROM CONSTRUCTION ACTIVITIES.</div> <div>I. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION, AND/OR MISALIGNMENT IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS, AND GOOD PRACTICE.</div> <div>7.CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL</div> <div>A.IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE JOB SITE IN AN ORDERLY WAY DURING CONSTRUCTION AND TO DISPOSE OF WASTE. PROVIDE SUITABLE WASTE DISPOSAL UNITS AND EMPTY REGULARLY. DO NOT PERMIT ACCUMULATION OF TRASH AND WASTE MATERIALS. DISPOSE OF CONSTRUCTION WASTE PROPERLY AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. NOTIFY THE ARCHITECT IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED OR SUSPECTED. DISPOSE OF HAZARDOUS MATERIAL PROPERLY IN ACCORDANCE WITH REQUIREMENTS OF LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS.</div> <div>8.CLOSEOUT PROCEDURES</div> <div>A.THOROUGHLY CLEAN ALL AREAS AFFECTED BY CONSTRUCTION BEFORE TURNING FINAL WORK OVER TO THE OWNER.</div> <div>9.OPERATION AND MAINTENANCE DATA</div> <div>A.UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL SPECIFICATIONS, MANUFACTURER'S INSTRUCTION, MAINTENANCE MANUALS, AND WARRANTIES FOR ALL HARDWARE, ELECTRICAL FIXTURES, HVAC DEVICES, PLUMBING DEVICES AND FIXTURES, AND INSTALLED EQUIPMENT.</div> <div>B. ALL MANUFACTURER'S INSTRUCTIONS, WARRANTIES, AND INSTALLATION INSTRUCTIONS SHALL BE FORWARDED BY THE CONTRACTOR TO THE OWNER AT THE END OF CONSTRUCTION.</div> <div>DIVISION 02 - EXISTING CONDITIONS</div> <div>1.DEMOLITION</div> <div>A.COORDINATE WITH OWNER TO HAVE ALL UTILITIES DISCONNECTED AND CAPPED.</div> <div>B.REFER TO RREM CERTIFICATION OF CONSTRUCTION REQUIREMENTS FOR ASBESTOS REMOVAL AND DISPOSAL REQUIREMENTS.</div> <div>2.SEE CIVIL DRAWINGS.</div> <div>DIVISION 03 - CONCRETE</div> <div>1.SEE STRUCTURAL DRAWINGS.</div> <div>DIVISION 04 - MASONRY</div> <div>1.SEE STRUCTURAL DRAWINGS.</div> <div>DIVISION 05 - METALS</div> <div>1.STRUCTURAL STEEL: SEE STRUCTURAL DRAWINGS.</div>	<div>DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES</div> <div>1. ROUGH CARPENTRY</div> <div>A.SEE STRUCTURAL DRAWINGS.</div> <div>B. ALL WOOD PLATES IN CONTACT WITH MASONRY OR STEEL SHALL BE PRESSURE TREATED.</div> <div>C. PROVIDE AND COORDINATE PLACING OF BLOCKING FOR MILLWORK, EQUIPMENT, LIGHTING, HARDWARE, HANDRAILS, AND GRAB BARS PRIOR TO CLOSING WALLS.</div> <div>2. SHEATHING</div> <div>B.SEE STRUCTURAL DRAWINGS.</div> <div>C.EXTERIOR WALL SHEATHING SHEETS TO BE LAPPED OVER FLOOR LINES.</div> <div>D.SUBFLOORING SHEETS TO BE PLACED WITH JOINTS STAGGERED. ALL SUBFLOORING SHALL BE GLUED AND NAILED.</div> <div>3. INTERIOR FINISH CARPENTRY</div> <div>TO BE SPECIFIED BY ARCHITECT</div> <div>4. WOOD STAIRS AND RAILINGS</div> <div>TO BE SPECIFIED BY ARCHITECT</div> <div>5. WOOD TRIM</div> <div>TO BE SPECIFIED BY ARCHITECT</div> <div>DIVISION 07 - THERMAL AND MOISTURE PROTECTION</div> <div>1. THERMAL INSULATION</div> <div>A. EXTERIOR WALLS SHALL HAVE 3" (R-20) CLOSED-CELL SPRAY FOAM INSULATION</div> <div>B. ROOF SHALL HAVE 6" (R-40) CLOSED CELL SPRAY FOAM INSULATION</div> <div>C. CONFIRM SOUND BATT INSULATION LOCATIONS WITH OWNER PRIOR TO INSTALLATION.</div> <div>2. PROVIDE STOGUARD WATERPROOF AIR BARRIER MEMBRANE OR EQUAL AT WOOD-FRAMED AND CMU WALLS.</div> <div>3. ROOFING</div> <div>A.ROOF TO BE POLYMER ROOF TILES TO BE SPECIFIED BY ARCHITECT.</div> <div>4.METAL FLASHING AND TRIM</div> <div>A.PROVIDE NON-CORROSIVE METAL FLASHING AT VALLEYS, ROOF-WALL INTERSECTIONS, RIDGES/HIPS OF SLOPED ROOFS, AND BUILT-IN GUTTERS. FLASHING MATERIAL AND COLOR TO BE SPECIFIED BY ARCHITECT.</div> <div>B. GUTTERS TO BE SEAMLESS ALUMINUM WITH ALUMINUM DOWNSPOUTS. GUTTER PROFILE AND COLOR TO BE SPECIFIED BY ARCHITECT.</div> <div>6.SNOW GUARDS</div> <div>A.LOCATIONS OF SNOW GUARDS TO BE CONFIRMED BY ARCHITECT. SNOW GUARDS TO BE SPECIFIED BY ARCHITECT.</div> <div>6.JOINT SEALANTS</div> <div>A.EXTERIOR JOINT SEALANTS TO BE SUITABLE FOR SEVERE COASTAL ENVIRONMENT AND COMPATIBLE WITH AIR BARRIER MATERIAL. COLOR TO BE SPECIFIED BY ARCHITECT.</div> <div>B.INTERIOR WET LOCATION JOINTS SHALL RECEIVE SINGLE COMPONENT, FUNGUS-RESISTANT SANITARY SEALANT, TYPE C, ASTM C920, COLOR TO BE SPECIFIED BY ARCHITECT.</div> <div>C.JOINT BACKING: ROUND, CLOSED-CELL POLYETHYLENE FOAM ROD OVERSIZE 30-50% LARGER THAN JOINT WIDTH. THE BACKER ROD MUST BE COMPATIBLE WITH THE SEALANT.</div> <div>D.CLEAN AND PRIME JOINTS AS RECOMMENDED BY SEALANT MANUFACTURER TO SUIT APPLICATION.</div> <div>E. TOOL SEALANT JOINTS CONCAVE.</div> <div>DIVISION 08 - OPENINGS</div> <div>1.INTERIOR DOORS - TO BE SPECIFIED BY ARCHITECT.</div> <div>2.EXTERIOR DOORS - TO BE SPECIFIED BY ARCHITECT.</div> <div>3.SECTIONAL DOORS - TO BE SPECIFIED BY ARCHITECT.</div> <div>4.WINDOWS - SEE SCHEDULE</div> <div>DIVISION 09 - FINISHES</div> <div>1. ALL INTERIOR WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450.</div> <div>2. ALL GYPSUM BOARD WORK SHALL INCLUDE ALL REQUIRED ACCESSORIES AND SHALL BE INSTALLED ACCORDING TO THE GYPSUM CONSTRUCTION HANDBOOK. PROVIDE CORNER BEADS ALONG FULL LENGTH OF OUTSIDE CORNERS. TAPE, SPACKLE, AND SAND IN MULTIPLE COATS TO ACHIEVE USG LEVEL 4 FINISH.</div> <div>3.TILE - TO BE SPECIFIED BY ARCHITECT</div> <div>4.WOOD FLOORING - TO BE SPECIFIED BY ARCHITECT</div> <div>5.CARPETING - TO BE SPECIFIED BY ARCHITECT</div> <div>6.EXTERIOR PAINTING - TO BE SPECIFIED BY ARCHITECT</div> <div>7.INTERIOR PAINTING - TO BE SPECIFIED BY ARCHITECT</div>	<div>DIVISION 10 - SPECIALTIES</div> <div>1. TOILET, BATH, AND LAUNDRY ACCESSORIES</div> <div>A.PROVIDE GRAB BARS AS INDICATED ON DRAWINGS. GRAB BARS TO BE SPECIFIED BY ARCHITECT.</div> <div>B.GAS FIREPLACE</div> <div>DIVISION 12 - FURNISHINGS</div> <div>1. WINDOW SHADES - TO BE SPECIFIED BY ARCHITECT</div> <div>2.CASEWORK - TO BE SPECIFIED BY ARCHITECT</div> <div>DIVISION 14 - CONVEYING EQUIPMENT</div> <div>1.ELEVATOR TO BE INFINITY HD RESIDENTIAL ELEVATOR BY SAVARIA. SEE SPECIFICATIONS.</div> <div>DIVISION 22 - PLUMBING</div> <div>SEE PLUMBING DRAWINGS AND EQUIPMENT PLANS AND SPECIFICATIONS.</div> <div>DIVISION 23 - HEATING, VENTILATING, AND AIR CONDITIONING</div> <div>SEE MECHANICAL DRAWINGS.</div> <div>DIVISION 26 - ELECTRICAL</div> <div>SEE ELECTRICAL DRAWINGS</div> <div>DIVISION 31 - EARTHWORK</div> <div>SEE CIVIL DRAWINGS</div> <div>DIVISION 32 - EXTERIOR IMPROVEMENTS</div> <div>1.PAVING TO BE SPECIFIED BY OWNER</div> <div>DIVISION 33 - UTILITIES</div> <div>1.SEE CIVIL DRAWINGS</div>





A2.01



- NOTES:
1. DIMENSIONS ARE SHOWN FROM FACE OF WOOD FRAMING. TYP U.N.O.
 2. SEE DOOR & WINDOW SCHEDULES FOR ROUGH OPENING SIZES
 3. DIMENSIONS NOTED AS "FIN" ARE TO FACE OF FINISH
 4. FIN FL TO BE WOOD U.N.O.

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REVISIONS:	
DATE:	NO. DESCRIPTION:

PROJECT NUMBER

21507-00

PROJECT NAME

MEYER RESIDENCE

1 LOT# ROAD
MONMOUTH BEACH, NJ 07750

PHASE

BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE

MAIN FLOOR
PLAN

DATE

10/10/2016

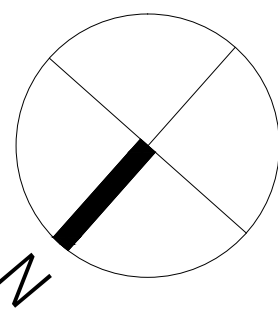
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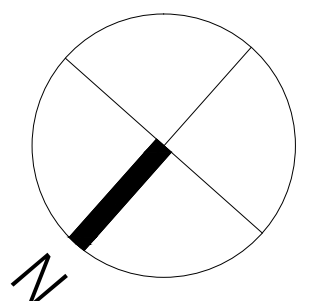
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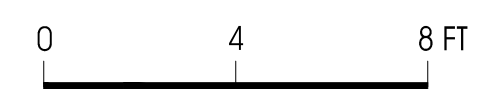
SHEET NUMBER

A2.02

0 4 8 FT







A2.04

1 ROOF PLAN - DECK LEVEL
- 1/4" = 1'-0"

NOTES:

1. SLOPED ROOFS TO HAVE POLYMER ROOFING TILES W/ POWDER-COATED ALUM FLASHING @ HIPS & RIDGE

2. ROOF PLAN DIMENSIONS ARE FROM FACE OF FINISH U.N.O.

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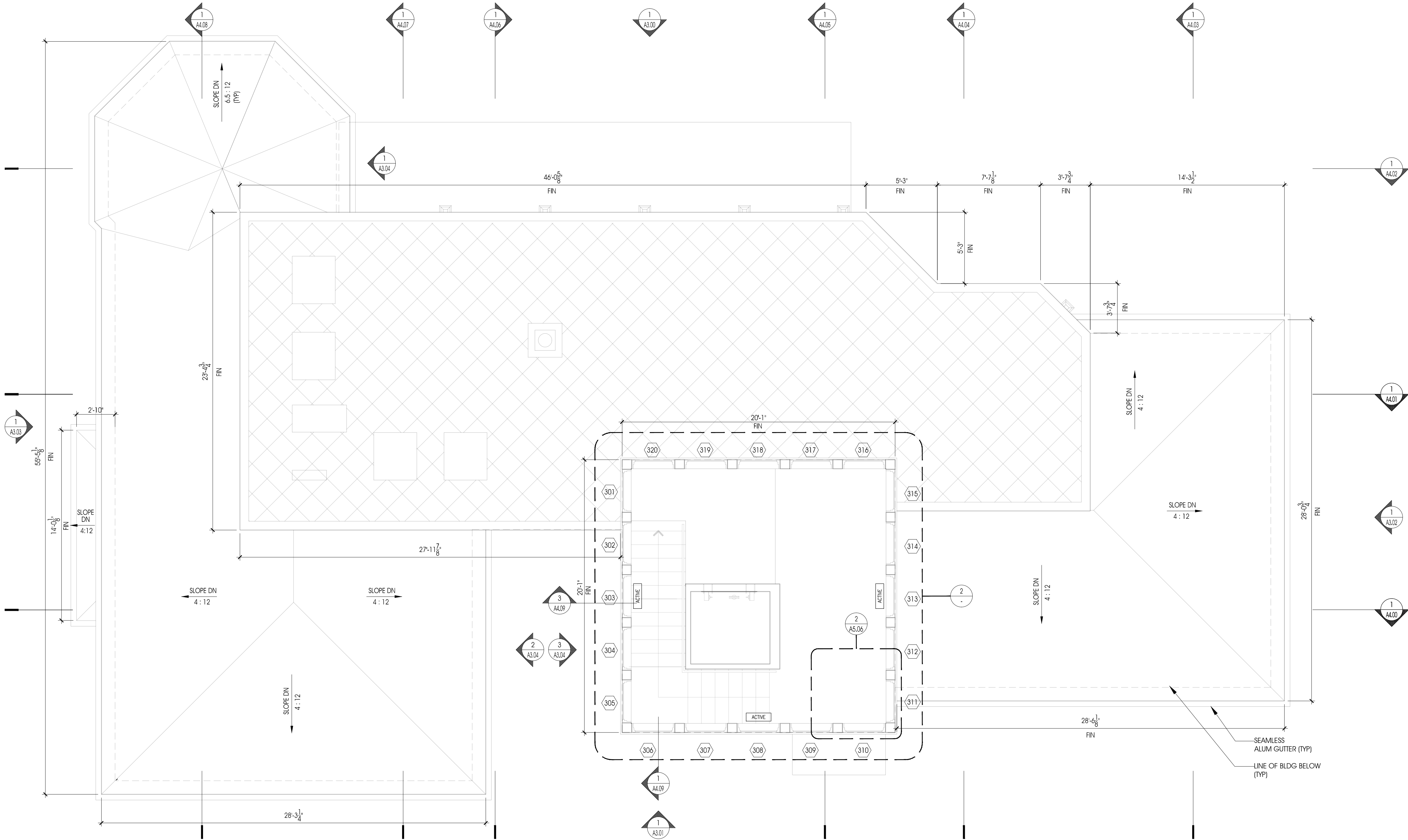
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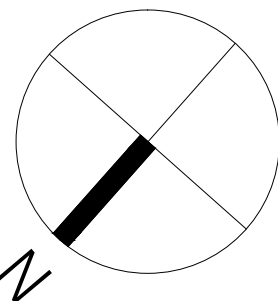
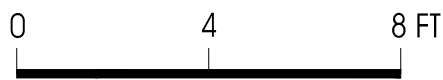
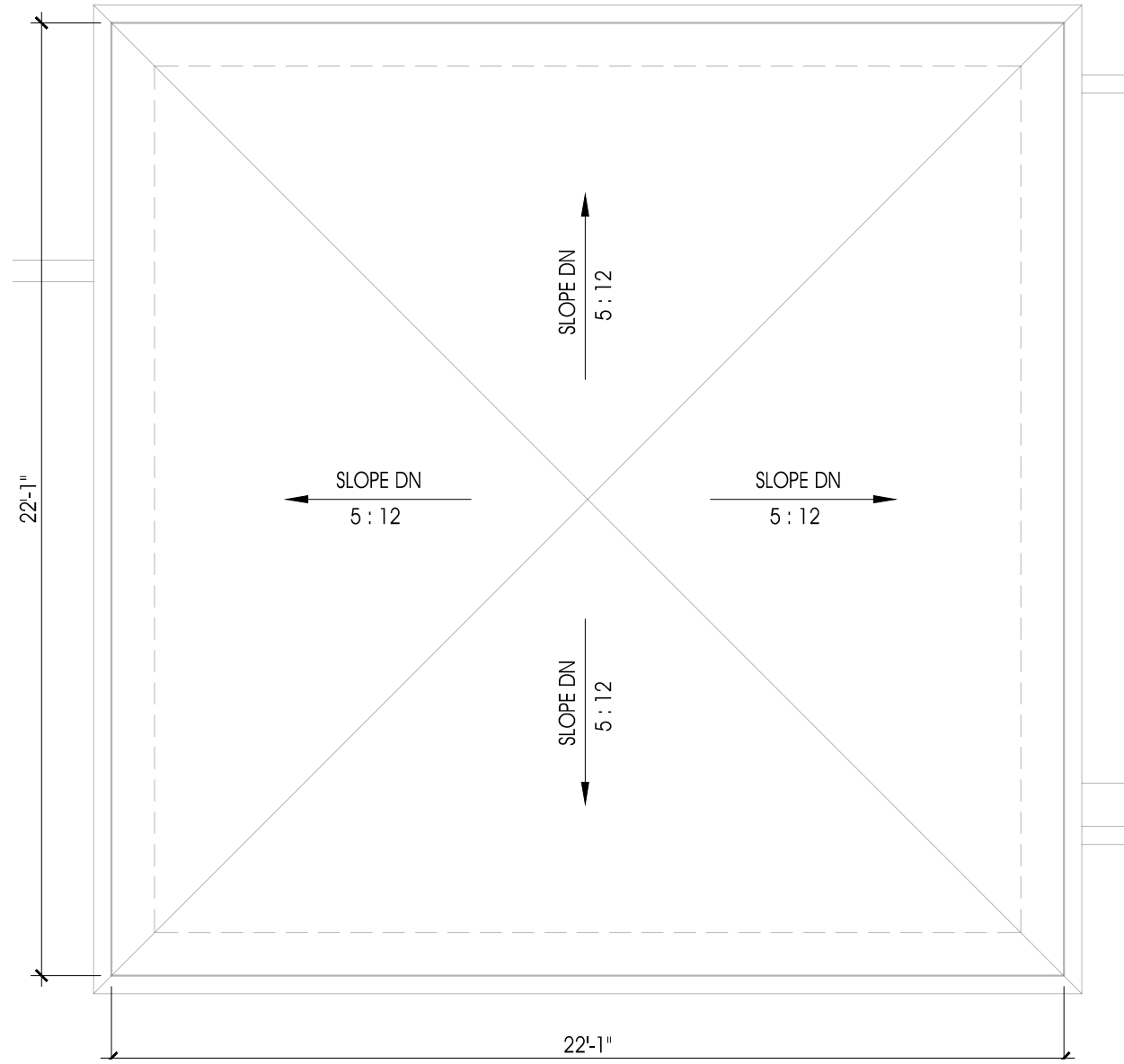
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21507-00	
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MEYER RESIDENCE	
1 LORI ROAD MONMOUTH BEACH, NJ 07750	
PHASE	
BLDG PERMIT & CONSTRUCTION	
SEAL	
DRAWING TITLE	
ROOF PLAN	
DATE	SCALE
10/10/2016	1/4"=1'-0"
SHEET NUMBER	

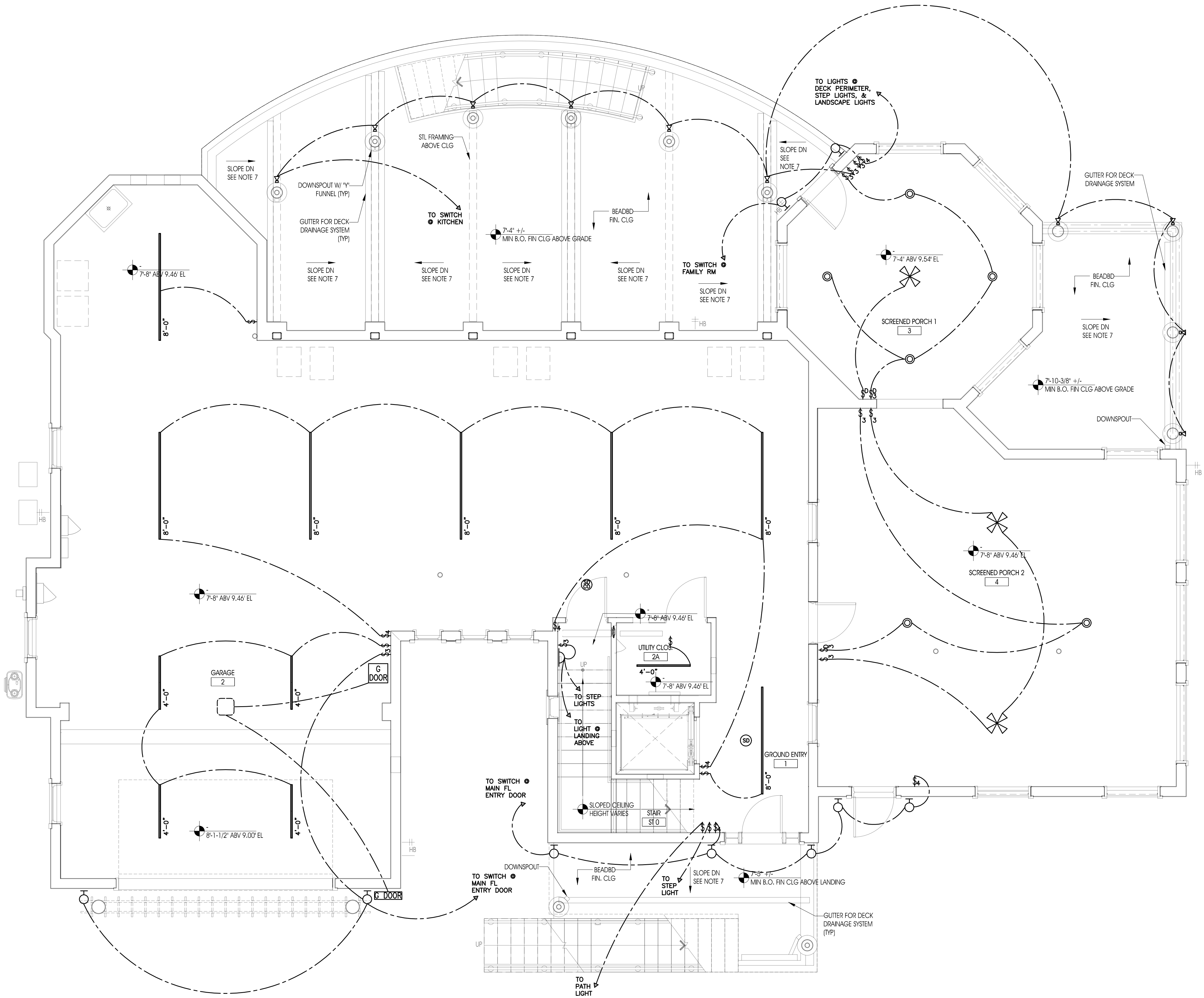
A2.05



1
-
PARTIAL LOWER ROOF PLAN
1/4"=1'-0"

2
-
PARTIAL UPPER ROOF PLAN
1/4"=1'-0"





ELECTRIC LEGEND

§ SINGLE POLE SWITCH

§
D = DIMMER SWITCH
M = MOTION SENSOR SWITCH
T = TIMER SWITCH
3 = 3-WAY SWITCH
4 = 4-WAY SWITCH

— DOOR JAMB LIGHT SWITCH

Φ 110 V DUPLEX OUTLET

⦿ 100 V DUPLEX OUTLET HALF-SWITCHED

⦿ DUPLEX FLOOR OUTLET

⦿ 220 V OUTLET

⦿ 110 V QUAD OUTLET

NOTATIONS ON OUTLET TYPES & HEIGHTS
GFI = GROUND FAULT INTERRUPTER
AC = OUTLET LOCATED ABOVE COUNTER
WP = WATERPROOF OUTLET
DED = DEDICATED CIRCUIT
= CENTER LINE OF OUTLET HEIGHT ABOVE FIN. FL.
USB = COMBINATION DUPLEX OUTLET & USB CHARGER
SW = SWITCHED OUTLET

⦿ THERMOSTAT

▼ PHONE OUTLET

▼ DATA OUTLET

▼ RECESSED SPEAKERS

▼ CABLE TV OUTLET

▼ USB OUTLET

⦿ INT WALL SCONCE

⦿ EXT WALL SCONCE

⦿ SURFACE-MTD CLG LIGHT FIXT

⦿ CEILING FAN

⦿ PENDANT LIGHT FIXT

⦿ RECESSED LIGHT FIXT

⦿ RECESSED WALL WASH LIGHT FIXT

⦿ EXT SPOT (SINGLE)

⦿ EXT (DOUBLE)

⦿ UNDER-CABINET LIGHT FIXT

⦿ TAPE LIGHT FIXT

⦿ RECESSED LINEAR CHANNEL W/ LED TAPE

⦿ STEP LIGHT

⦿ EXHAUST FAN

⦿ SMOKE DETECTOR

⦿ SMOKE & CO DETECTOR

⦿ SECURITY CAMERA

⦿ ELECTRIC WINDOW SHADE

⦿ GARAGE DR CONTROL

⦿ GARAGE DR OPENER

⦿ IRRIG. SYSTEM CONTROL

⦿ DOOR CHIME

⦿ DOORBELL

⦿ ELEVATOR CALL BUTTON

⦿ ELECTRONIC WINDOW/DOOR OPERATOR

⦿ OPTICAL NETWORK TERMINAL

⦿ BATTERY BACKUP FOR OPTICAL NETWORK TERMINAL

⦿ CIRCUIT

⦿ CIRCUIT TO SWITCH/OUTLET/LIGHT FIXT

⦿ NOT SHOWN ON THIS PLAN

NOTES:

1. CEILING HEIGHTS ARE FROM T.O. FIN FL TO B.O. FRAMING
2. WALL SCONCE MOUNTING HEIGHTS TO BE CONFIRMED BY ARCHT.
3. SEE 1/E1.01 FOR GROUND FL OUTLET/CTRL MTG HEIGHTS
4. SEE 1/E1.02 FOR TYPICAL OUTLET/CTRL MTG HEIGHTS
5. WALL-MOUNTED ELEC HEATER TO BE MIN 3'-0" A.F.F.
6. INDOOR COIL & GAS FURNACE TO BE CEILING HUNG. SEE EQUIPMT PLANS
7. DECK DRAIN MEMBRANE ABOVE CEILING SLOPES TOWARDS GUTTER

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REVISIONS:

DATE: NO. DESCRIPTION:

PROJECT NUMBER

21507-00

PROJECT NAME

MEYER RESIDENCE

1 LOT#1 ROAD
MONMOUTH BEACH, NJ 07750

PHASE

BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE

GROUND FLOOR
REFLECTED CEILING PLAN

DATE

10/10/2016

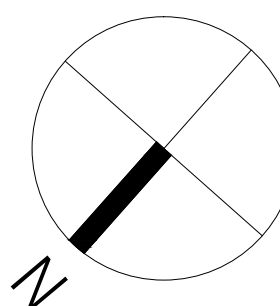
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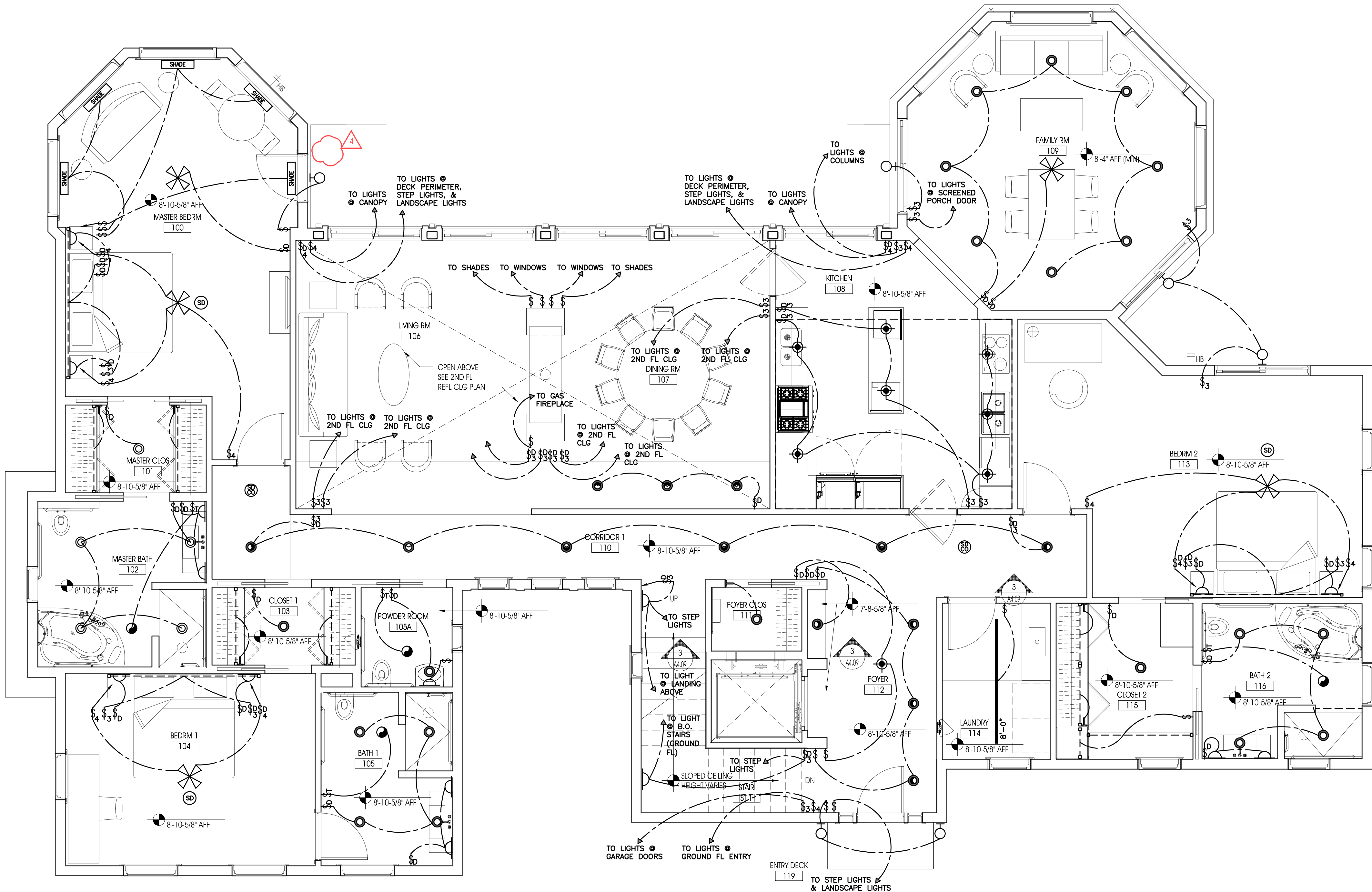
1/4"=1'-0"

SHEET NUMBER

A2.06

0 4 8 FT





1 MAIN FLOOR RCP
- 1/4"=1'-0"

ELECTRIC LEGEND

\$

SINGLE POLE SWITCH

\$

D

NOTATIONS ON SWITCH TYPES:
D = DIMMER SWITCH
M = MOTION SENSOR SWITCH
T = TIMER SWITCH
3 = 3-WAY SWITCH
4 = 4-WAY SWITCH

⊢

DOOR JAMB LIGHT SWITCH

⊕

110 V DUPLEX OUTLET

⊕

100 V DUPLEX OUTLET HALF-SWITCHED

⊕

DUPLEX FLOOR OUTLET

⊕

220 V OUTLET

⊕

110 V QUAD OUTLET

⊕

NOTATIONS ON OUTLET TYPES & HEIGHTS
GFI = GROUND FAULT INTERRUPTER
AC = OUTLET LOCATED ABOVE COUNTER
WP = WATERPROOF OUTLET
DED = DEDICATED CIRCUIT
#"/# = CENTER LINE OF OUTLET HEIGHT ABOVE FIN. FL.
USB = COMBINATION DUPLEX OUTLET & USB CHARGER
SW = SWITCHED OUTLET

⊕

THERMOSTAT

▼

PHONE OUTLET

▽

DATA OUTLET

▽

RECESSED SPEAKERS

▽

CABLE TV OUTLET

▽

USB OUTLET

⌒

INT WALL SCONCE

⊕

EXT WALL SCONCE

⊕

SURFACE-MTD CLG LIGHT FIXT

⊕

CEILING FAN

⊕

PENDANT LIGHT FIXT

⊕

RECESSED LIGHT FIXT

⊕

RECESSED WALL WASH LIGHT FIXT

⊕

EXT SPOT (SINGLE)

⊕

EXT (DOUBLE)

⊕

UNDER-CABINET LIGHT FIXT

⊕

TAPE LIGHT FIXT

⊕

RECESSED LINEAR CHANNEL W/ LED TAPE

⊕

STEP LIGHT

⊕

EXHAUST FAN

⊕

SMOKE DETECTOR

⊕

SMOKE & CO DETECTOR

⊕

SECURITY CAMERA

⊕

ELECTRIC WINDOW SHADE

⊕

GARAGE DR CONTROL

⊕

GARAGE DR OPENER

⊕

IRRIG. IRRIGATION SYSTEM CONTROL

⊕

DOOR CHIME

⊕

DOORBELL

⊕

ELEVATOR CALL BUTTON

⊕

ELECTRONIC WINDOW/DOOR OPERATOR

⊕

OPTICAL NETWORK TERMINAL

⊕

BATTERY BACKUP FOR OPTICAL NETWORK TERMINAL

⊕

CIRCUIT

⊕

CIRCUIT TO SWITCH/OUTLET/LIGHT FIXT NOT SHOWN ON THIS PLAN

NOTES:

1. CEILING HEIGHTS ARE FROM T.O. FIN FL TO B.O. FRAMING

2. WALL SCONCE MOUNTING HEIGHTS TO BE CONFIRMED BY ARCHT.

3. SEE 1/E1.01 FOR GROUND FL OUTLET/CTRL MTG HEIGHTS

4. SEE 1/E1.02 FOR TYPICAL OUTLET/CTRL MTG HEIGHTS

5. WALL-MOUNTED ELEC HEATER TO BE MIN 3'-0" A.F.F.

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MICHAEL GRAVES
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REVISIONS:

DATE:

NO.

DESCRIPTION:

1/08/18

4

CANOPY LIGHTING

PROJECT NUMBER

21507-00

PROJECT NAME

MEYER RESIDENCE

1 LOT#1 ROAD
MONMOUTH BEACH, NJ 07750

PHASE

BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE

MAIN FLOOR
REFLECTED CEILING PL

DATE

10/10/2016

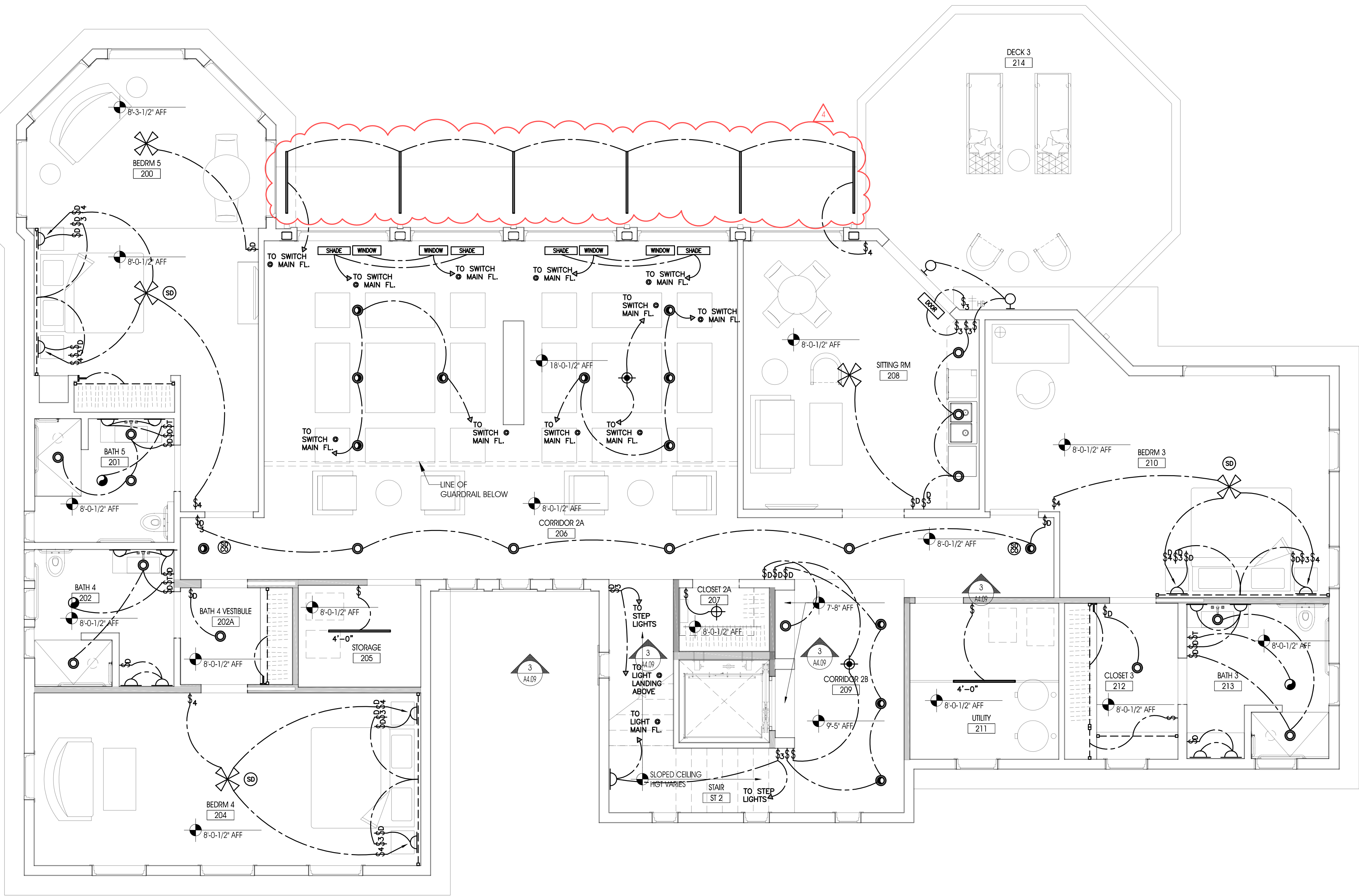
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1/4"=1'-0"

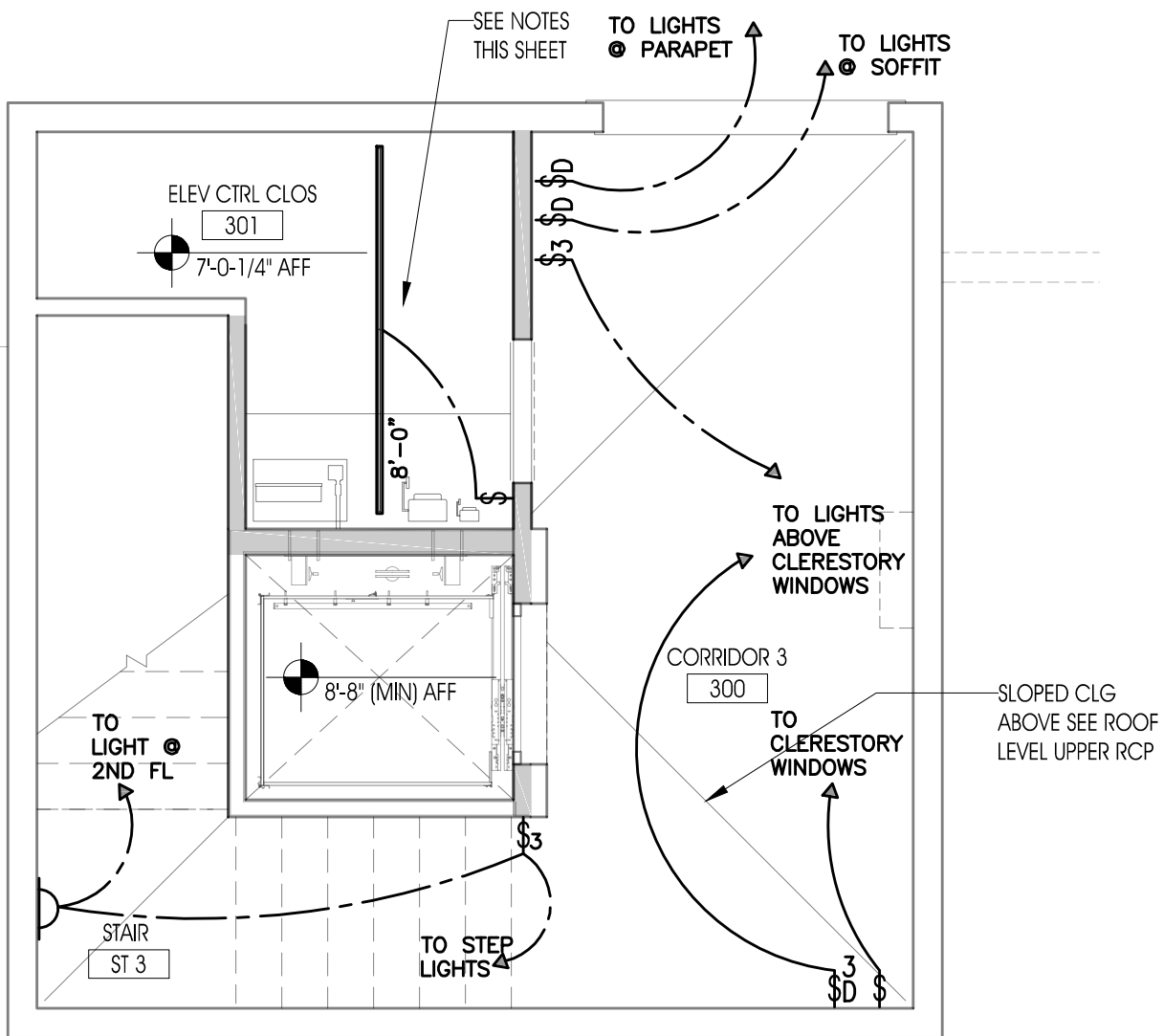
SHEET NUMBER

A2.07

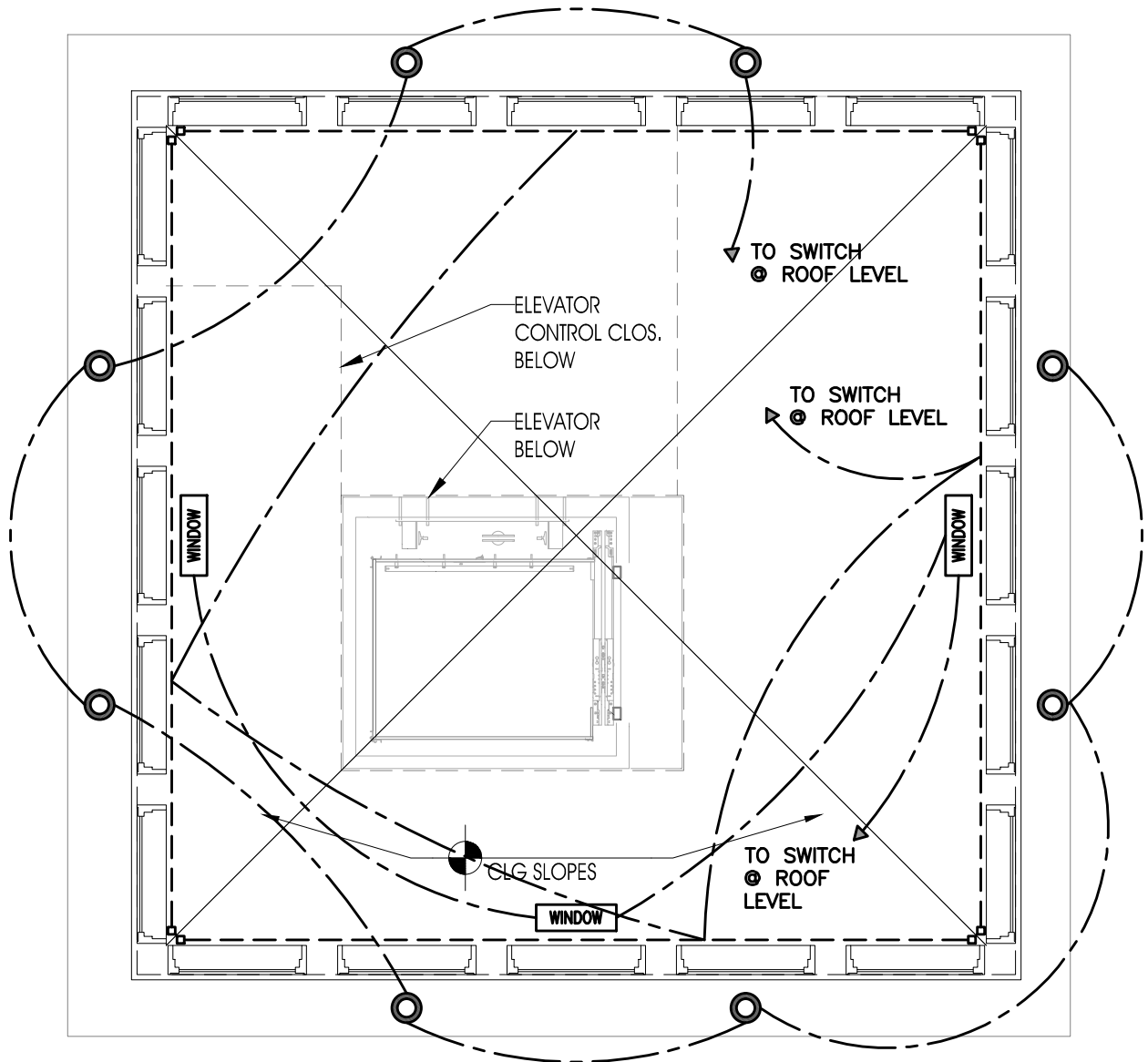
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3 SECOND FLOOR RCP
1/4"=1'-0"



2 STAIR TOWER ROOF DECK LEVEL- LOWER RCP
1/4"=1'-0"



1 STAIR TOWER ROOF DECK LEVEL- UPPER RCP
1/4"=1'-0"

ELECTRIC LEGEND

§ SINGLE POLE SWITCH

§ NOTATIONS ON SWITCH TYPES:
D = DIMMER SWITCH
M = MOTION SENSOR SWITCH
T = TIMER SWITCH
3 = 3-WAY SWITCH
4 = 4-WAY SWITCH

DOOR JAMB LIGHT SWITCH

110 V DUPLEX OUTLET

100 V DUPLEX OUTLET HALF-SWITCHED

DUPLEX FLOOR OUTLET

220 V OUTLET

110 V GUAD OUTLET

NOTATIONS ON OUTLET TYPES & HEIGHTS
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WP = WATERPROOF OUTLET
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= CENTER LINE OF OUTLET HEIGHT ABOVE FIN. FL.
USB = COMBINATION DUPLEX OUTLET & USB CHARGER
SW = SWITCHED OUTLET

THERMOSTAT

PHONE OUTLET

DATA OUTLET

RECESSED SPEAKERS

CABLE TV OUTLET

USB OUTLET

INT WALL SCONCE

EXT WALL SCONCE

SURFACE-MID CLG LIGHT FIXT

CEILING FAN

PENDANT LIGHT FIXT

RECESSED LIGHT FIXT

RECESSED WALL WASH LIGHT FIXT

EXT SPOT (SINGLE)

EXT (DOUBLE)

UNDER-CABINET LIGHT FIXT

TAPE LIGHT FIXT

RECESSED LINEAR CHANNEL W/ LED TAPE

STEP LIGHT

EXHAUST FAN

SMOKE DETECTOR

SMOKE & CO DETECTOR

SECURITY CAMERA

ELECTRIC WINDOW SHADE

GARAGE DR CONTROL

GARAGE DR OPENER

IRRIGATION SYSTEM CONTROL

DOOR CHIME

DOORBELL

ELEVATOR CALL BUTTON

ELECTRONIC WINDOW/DOOR OPERATOR

OPTICAL NETWORK TERMINAL

BATTERY BACKUP FOR OPTICAL NETWORK TERMINAL

CIRCUIT

CIRCUIT TO SWITCH/OUTLET/LIGHT FIXT NOT SHOWN ON THIS PLAN

NOTES:

- CEILING HEIGHTS ARE FROM T.O. FIN FL TO B.O. FRAMING
- WALL SCONCE MOUNTING HEIGHTS TO BE CONFIRMED BY ARCHT.
- SEE 1/E1.01 FOR GROUND FL OUTLET/CTRL MTG HEIGHTS
- SEE 1/E1.02 FOR TYPICAL OUTLET/CTRL MTG HEIGHTS
- WALL-MOUNTED ELEC HEATER TO BE MIN 3'-0" A.F.F.
- CLG LIGHT FIXT IN ELEV. CTRL CLOS. 301 TO HAVE GUARD TO PREVENT ACCIDENTAL BREAKAGE/CONTACT WITH BULB

DESIGN ARCHITECT

MICHAEL GRAVES
ARCHITECTURE & DESIGN

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INSITE ENGINEERING, LLC

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REVISIONS:

DATE: NO. DESCRIPTION:

1/08/18 4 CANOPY LIGHTING

PROJECT NUMBER 21507-00

PROJECT NAME MEYER RESIDENCE

1 LCR1 ROAD
MONMOUTH BEACH, NJ 07750

PHASE BLDG PERMIT & CONSTRUCTION

SEAL

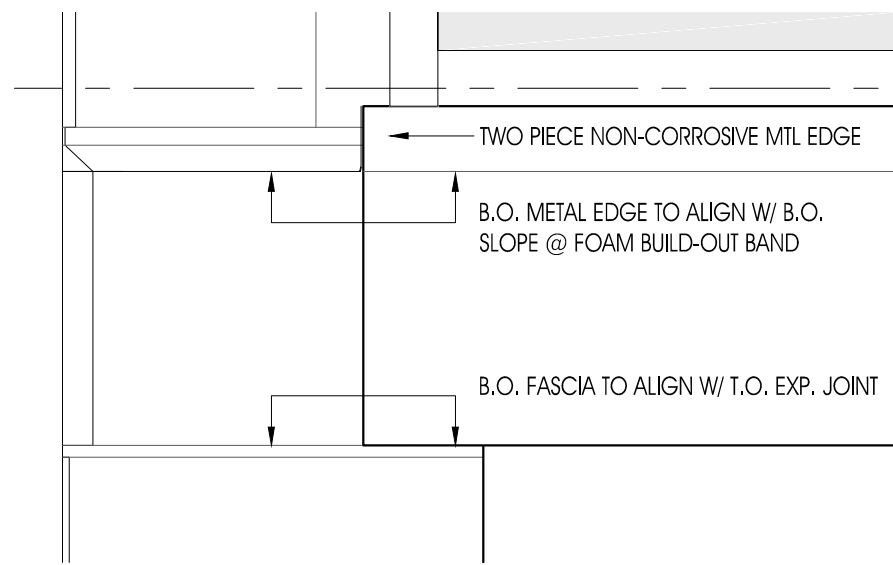
DRAWING TITLE

SECOND FLOOR & ELEVATOR TOWER RCP

DATE 10/10/2016 SCALE 1/4"=1'-0"

SHEET NUMBER

A2.08



2 TYP ELEVATION DETAIL
1-1/2"=1'-0"

- LEGEND
- POLYMER ROOFING TILES
 - SNOW GUARD
 - PT COMPOSITE FASCIA BOARD
 - CHIMNEY
 - GUTTER
 - LEADER HEAD
 - DOWNSPOUT
 - STUCCO (SMOOTH LIMESTONE FINISH)
 - TRIM- SMOOTH LIMESTONE STUCCO FINISH
 - FOAM BUILD OUT TRIM- SMOOTH LIMESTONE STUCCO FINISH
 - WINDOW FACTORY APPLIED TRIM
 - WINDOW FACTORY APPLIED SILL NOSING
 - CONTROL JOINT
 - EXPANSION JOINT
 - GLASS RAILING - POST SYSTEM
 - POLYESTER SCREEN
 - PT PVC TRIM
 - ENGINEERED FLOOD VENT
 - CLADDED COLUMN- SMOOTH LIMESTONE STUCCO FINISH
 - STUCCO SKIM COAT
 - ELECTRICAL METER
 - GAS METER
 - TRELLIS PT WD BEAMS & RAFTERS
 - METAL ROOF
- (E) EGRESS WINDOW

DESIGN ARCHITECT

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WALL, NJ 07719

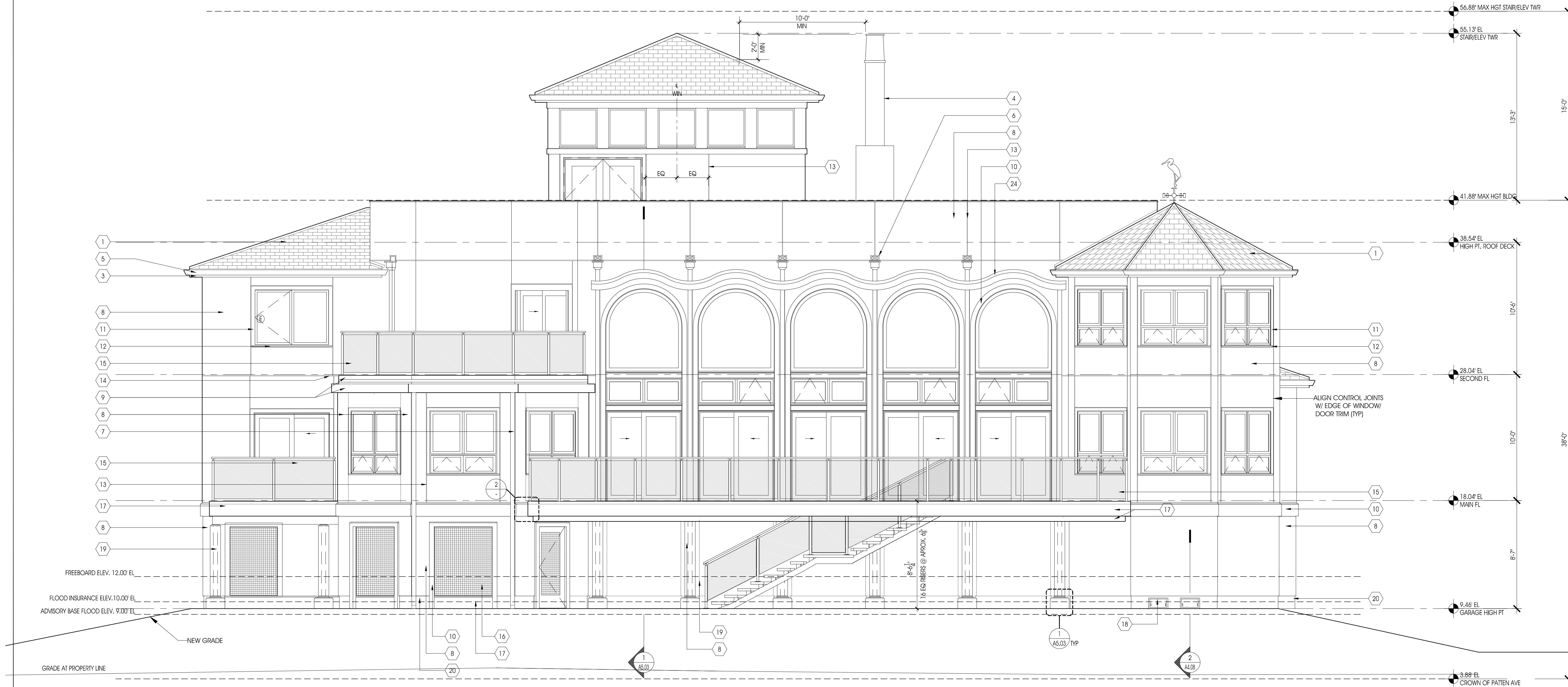
T: 732.280.5623 F: 732.280.3980

CIVIL ENGINEER

INSITE ENGINEERING, LLC

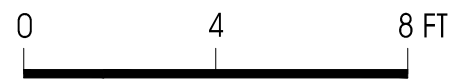
1913 ATLANTIC AVE, SUITE F4
WALL, NJ 08785

T: 732.531.7100 F: 732.531.7344



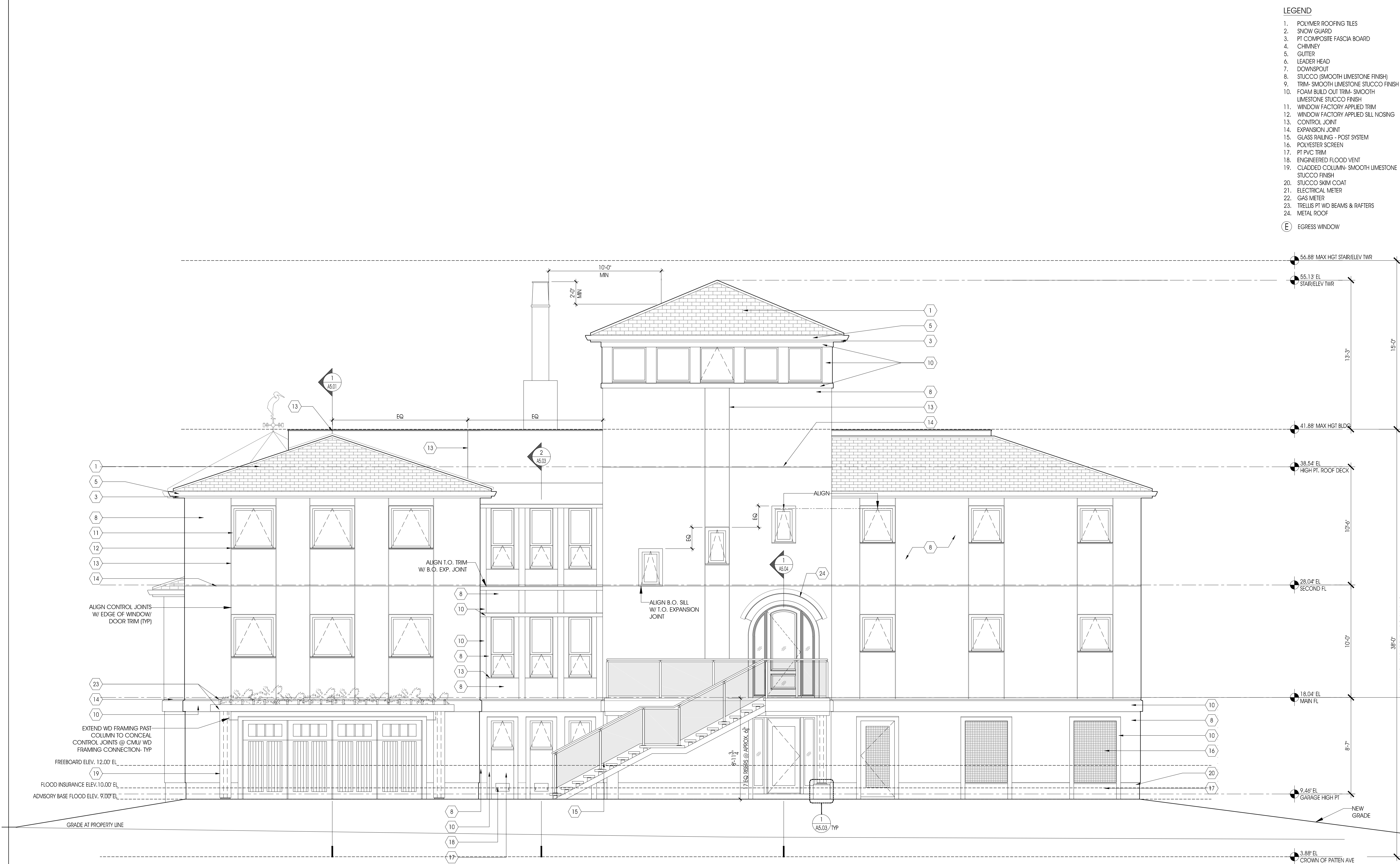
1 SOUTHEAST ELEVATION (PATTEN AVE.)
1/4"=1'-0"

REVISIONS:	
DATE:	NO. DESCRIPTION:
PROJECT NUMBER	
21507-00	
PROJECT NAME	
MEYER RESIDENCE	
1 LOT ROAD MONMOUTH BEACH, NJ 07750	
PHASE	
BLDG PERMIT & CONSTRUCTION	
SEAL	
DRAWING TITLE	
EXTERIOR ELEVATION SOUTHEAST (PATTEN AVE)	
DATE	SCALE
10/10/2016	1/4"=1'-0"
SHEET NUMBER	



A3.00

N:\PROJECTS\21507-00 Bill Meyer House, Monmouth Beach, NJ\Graphics Residence\Sheet\CD\A3.01, Exterior Elev Harbour Way.dwg
A3.01, 1/6/2016 2:23:41 PM



- LEGEND
1. POLYMER ROOFING TILES
 2. SNOW GUARD
 3. PT COMPOSITE FASCIA BOARD
 4. CHIMNEY
 5. GUTTER
 6. LEADER HEAD
 7. DOWNSPOUT
 8. STUCCO (SMOOTH LIMESTONE FINISH)
 9. TRIM- SMOOTH LIMESTONE STUCCO FINISH
 10. FOAM BUILD OUT TRIM- SMOOTH LIMESTONE STUCCO FINISH
 11. WINDOW FACTORY APPLIED TRIM
 12. WINDOW FACTORY APPLIED SILL NOSING
 13. CONTROL JOINT
 14. EXPANSION JOINT
 15. GLASS RAILING - POST SYSTEM
 16. POLYESTER SCREEN
 17. PT PVC TRIM
 18. ENGINEERED FLOOD VENT
 19. CLADDED COLUMN- SMOOTH LIMESTONE STUCCO FINISH
 20. STUCCO SKIM COAT
 21. ELECTRICAL METER
 22. GAS METER
 23. TRELLIS PT WD BEAMS & RAFTERS
 24. METAL ROOF
- (E) EGRESS WINDOW

DESIGN ARCHITECT
MICHAEL GRAVES
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REVISIONS:
DATE: NO. DESCRIPTION:

PROJECT NUMBER
21507-00

PROJECT NAME
MEYER RESIDENCE
1 LORI ROAD
MONMOUTH BEACH, NJ 07750

PHASE
BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE
EXTERIOR ELEVATION
NORTHWEST (HARBOUR WAY)

DATE
10/10/2016 SCALE
1/4"=1'-0"

SHEET NUMBER
A3.01

1. POLYMER ROOFING TILES
 2. SNOW GUARD
 3. PT COMPOSITE FASCIA BOARD
 4. CHIMNEY
 5. GUTTER
 6. LEADER HEAD
 7. DOWNSPOUT
 8. STUCCO (SMOOTH LIMESTONE FINISH)
 9. TRIM- SMOOTH LIMESTONE STUCCO FINISH
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 20. STUCCO SKIM COAT
 21. ELECTRICAL METER
 22. GAS METER
 23. TRELLIS PT WD BEAMS & RAFTERS
 24. METAL ROOF
- (E) EGRESS WINDOW

T: 732.531.7100 F: 732.531.7344

DATE:	NO.	DESCRIPTION:
-------	-----	--------------

SEAL

SHEET NUMBER	
--------------	--

A3.02



- LEGEND
1. POLYMER ROOFING TILES
 2. SNOW GUARD
 3. PT COMPOSITE FASCIA BOARD
 4. CHIMNEY
 5. GUTTER
 6. LEADER HEAD
 7. DOWNSPOUT
 8. STUCCO (SMOOTH LIMESTONE FINISH)
 9. TRIM- SMOOTH LIMESTONE STUCCO FINISH
 10. FOAM BUILD OUT TRIM- SMOOTH LIMESTONE STUCCO FINISH
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 21. ELECTRICAL METER
 22. GAS METER
 23. TRELLIS PT WD BEAMS & RAFTERS
 24. METAL ROOF
- (E) EGRESS WINDOW

DESIGN ARCHITECT

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REVISIONS:

DATE: NO. DESCRIPTION:

PROJECT NUMBER
21507-00

PROJECT NAME

MEYER RESIDENCE

1 LOT#1 ROAD
MONMOUTH BEACH, NJ 07750

PHASE

BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE

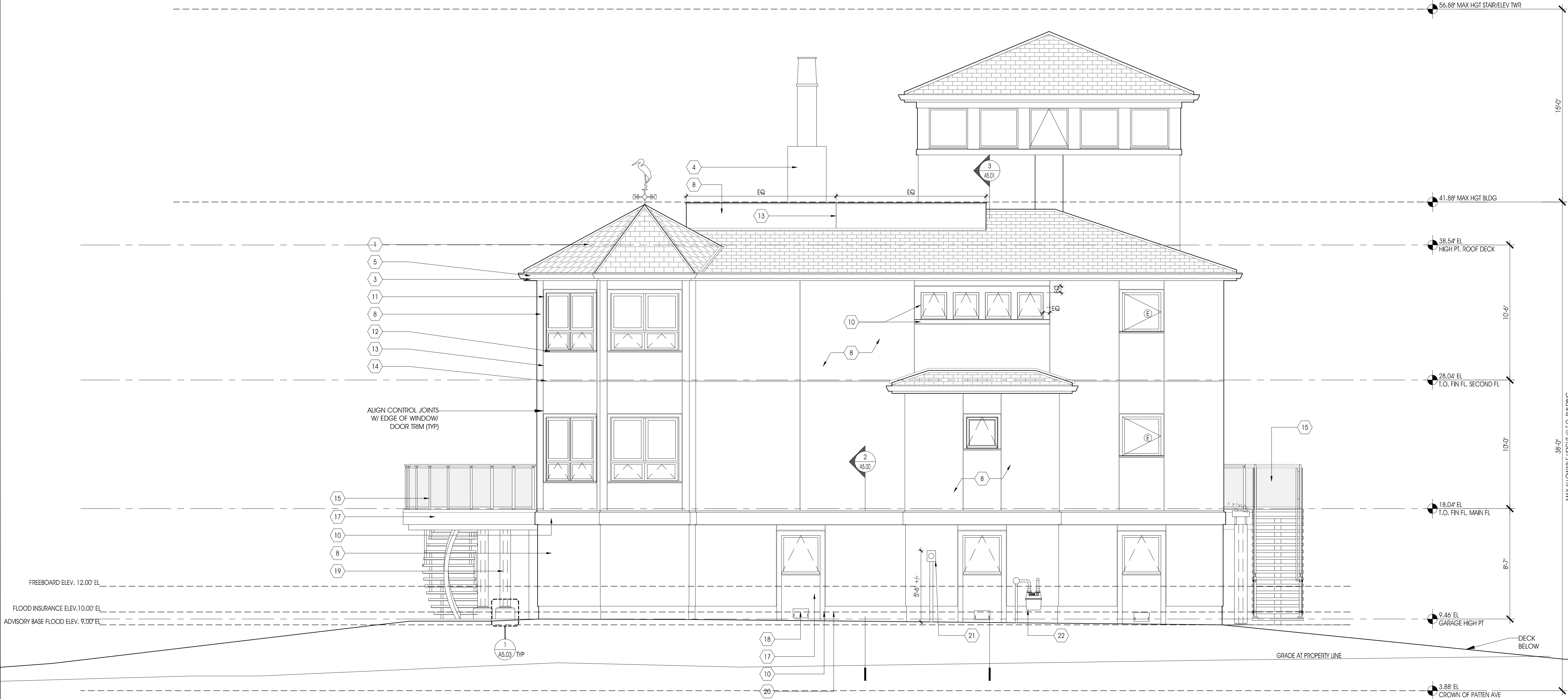
EXTERIOR ELEVATION
NORTHEAST

DATE
10/10/2016

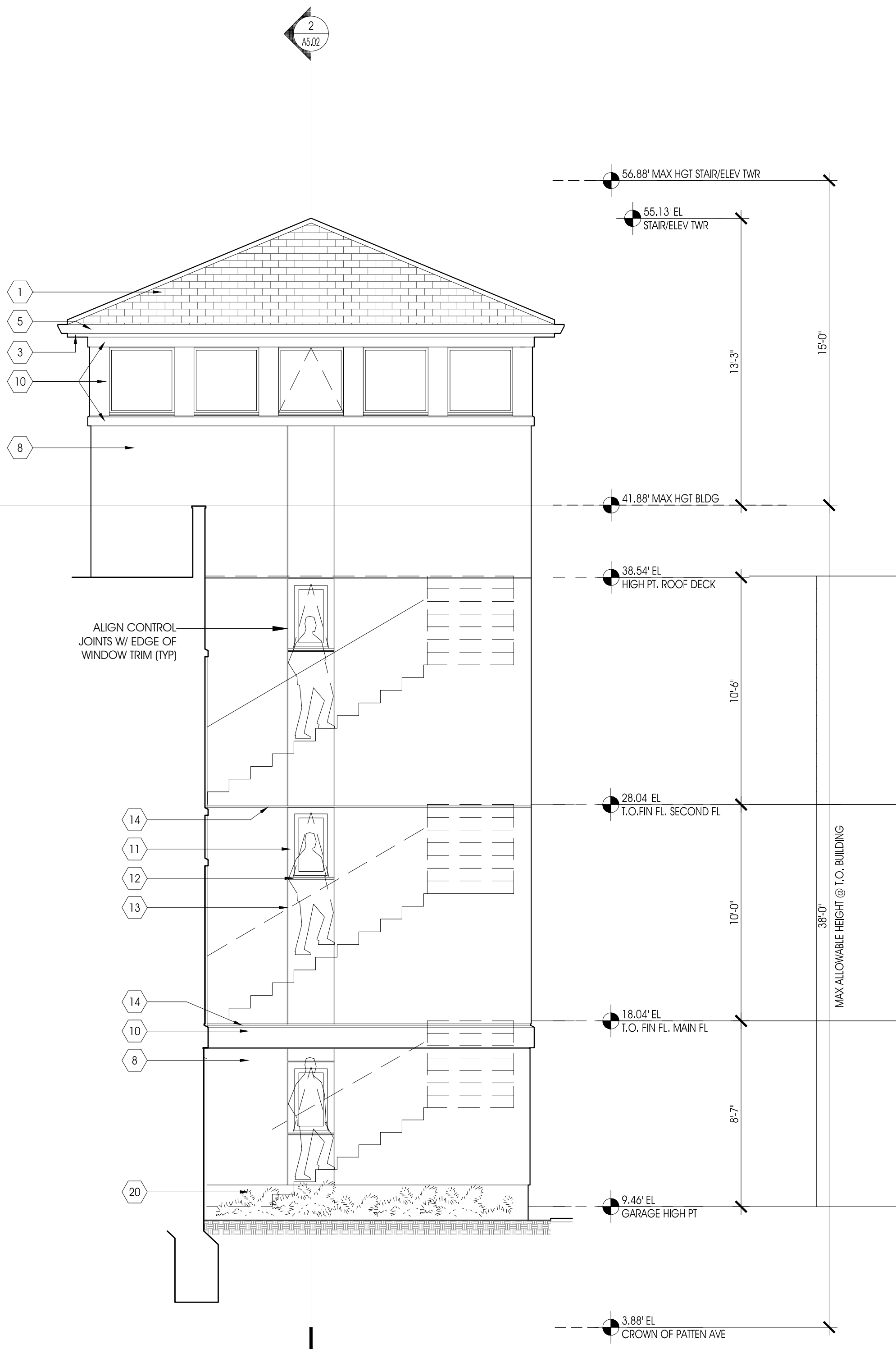
SCALE
1/4"=1'-0"

SHEET NUMBER

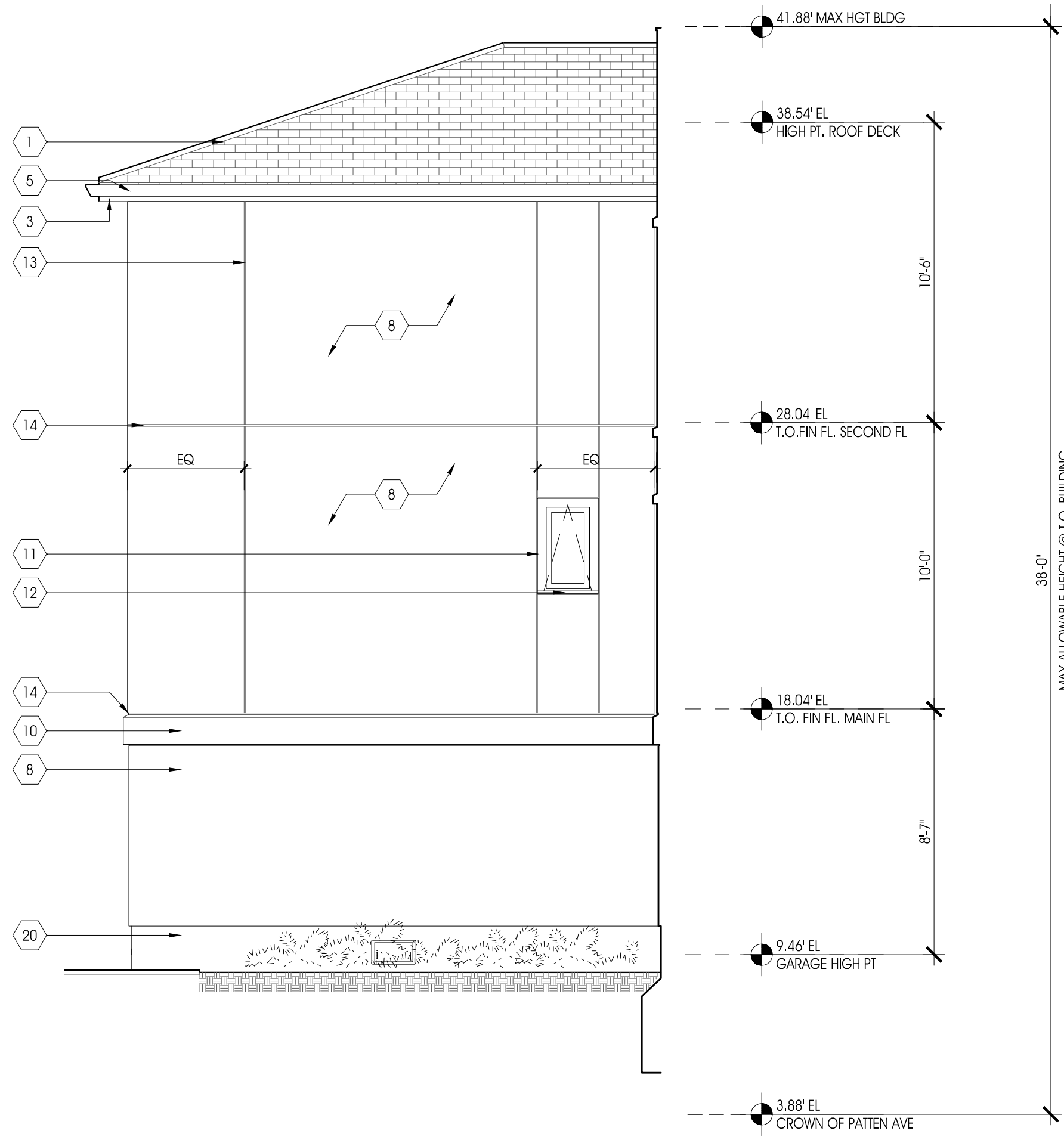
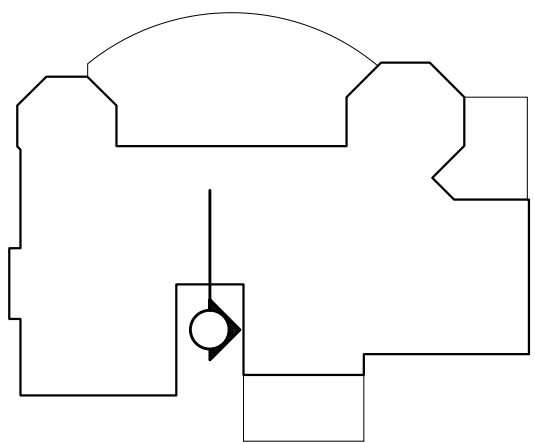
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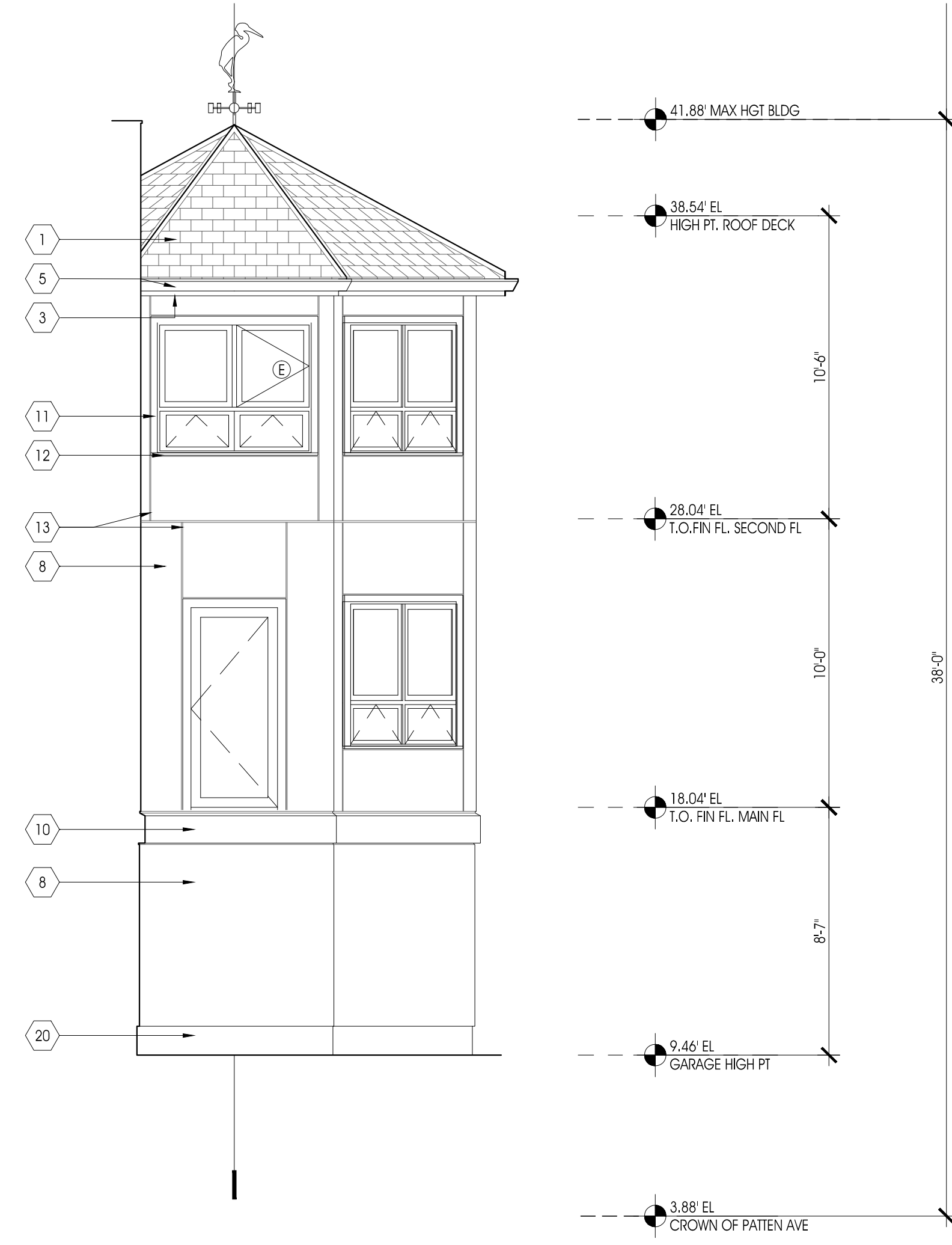
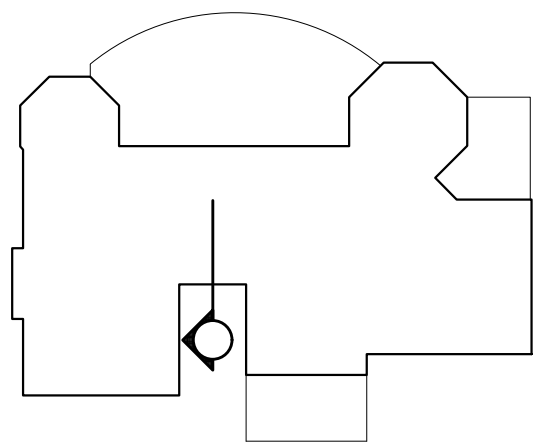
1 NORTHEAST ELEVATION
- 1/4" = 1'-0"



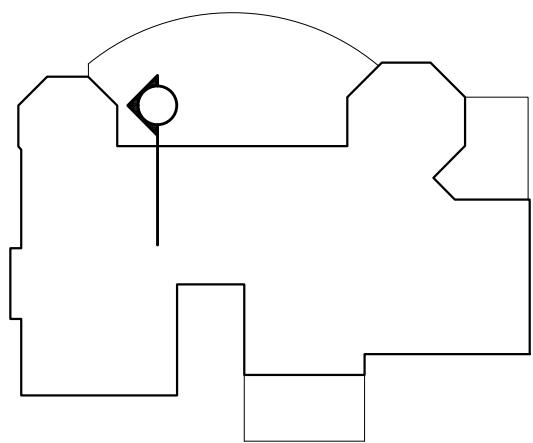
3 PARTIAL ELEVATION
- 1/4" = 1'-0"



2 PARTIAL ELEVATION
- 1/4" = 1'-0"



1 PARTIAL ELEVATION
- 1/4" = 1'-0"



- LEGEND
1. POLYMER ROOFING TILES
 2. SNOW GUARD
 3. PT COMPOSITE FASCIA BOARD
 4. CHIMNEY
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 23. TRELLIS PT WD BEAMS & RAFTERS
 24. METAL ROOF
- (E) EGRESS WINDOW

DESIGN ARCHITECT	
MICHAEL GRAVES ARCHITECTURE & DESIGN	
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CIVIL ENGINEER	
INSITE ENGINEERING, LLC	
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REVISIONS:	
DATE:	NO. DESCRIPTION:
PROJECT NUMBER	
21507-00	
PROJECT NAME	
MEYER RESIDENCE	
1 LORI ROAD MONMOUTH BEACH, NJ 07750	
PHASE	
BLDG PERMIT & CONSTRUCTION	
SEAL	
DRAWING TITLE	
EXTERIOR PARTIAL ELEVATIONS	
DATE	SCALE
10/10/2016	1/4" = 1'-0"
SHEET NUMBER	
A3.04	

LEGEND

NOTES:
1. SEE SPECIFICATIONS FOR ALL FINISHES, ACCESSORIES, EQUIPMENT & PLUMBING FIXTURES
2. PROVIDE & COORDINATE BLOCKING FOR MILLWORK, EQUIPMT, LIGHTING, HARDWARE, HANDRAILS & GRAB BARS

FINISH MATERIAL/ACCESSORY/FIXTURE

F1a. GYP. WALL BD - PAINT
F1b. GYP. WALL BD - WALL COVERING
F2. NON-PAPER FACED GYP. WALL BD - PAINT
F3. STUCCO
F4. COMPOSITE TRIM - PAINT
F5. ENGINEERED FLOOD VENT
F6. SCREEN
F7. BASEBOARD MOULDING
F8. DOOR/WINDOW CASING
F9. STAINLESS STEEL
F10. GRAB BAR
F11. MIRROR
F12. STAIR RAIL
F13. BUILT-IN CUSTOM CABINET
F14. CLOSET ROD & SHELF
F15. GLASS GUARDRAIL- POST SYSTEM
F16. CHIMNEY
F17a. STONE/TILE A
F17b. STONE/TILE B
F17c. STONE/TILE C
F18. TOILET PAPER DISPENSER
F19. WOOD TRIM

EQUIPMENT

1a. GAS FURNACE
1b. INDOOR COIL
2. ELECTRIC METER
3. GAS METER
4. ELEC. PANEL (MAIN)
5. ELEC. PANEL (SUBPANEL)
6. WATER HEATER
7. WASHER
8. GAS DRYER
9. A/C CONDENSER
10. GENERATOR
11. GENERATOR TRANSFER SWITCH
12. ELEVATOR
12a. ELEVATOR CONTROLLER
12b. ELEVATOR DISCONNECTS
13. GAS FIREPLACE
14. ELECTRIC HEATER
15. HEAT PUMP
16. GARAGE DOOR OPENER
17. IRRIGATION CONTROL
18. IRRIGATION VALVE BOXES
19. PEX PLUMBING MANIFOLD

KITCHEN EQUIPMENT

K1. SINK A
K2. GAS RANGE
K3. EXHAUST HOOD
K4. DRAWER MICROWAVE
K5. REFRIGERATOR A
K6. FREEZER
K7. NOT USED
K8. WARMING DRAWER
K9. NOT USED
K10. INDUCTION COOKTOP
K11a. DOWNDRAFT RECIRC. MODULE
K11b. DOWNDRAFT VENTILATION FAN
K12. DISHWASHER
K13. SINK B
K14. MICROWAVE
K15. NOT USED
K16. BAR REFRIGERATOR
K17. FAUCET

BATH/UTILITY PLUMBING FIXT

P1. MOP SINK
P2. COMBO WHIRLPOOL TUB/SHOWER
P3. TOILET
P4a. WALL CARRIER (2 X 4 WALL)
P4c. WALL CARRIER (PRE-WALL)
P5a. HANDSHOWER
P5c. RAIN HEAD
P5c. THERMOSTATIC SHOWER SYS. TRIM
P6a. FAUCET - MOP SINK
P6c. FAUCET - BATHRM SINK
P6c. FAUCET - LAUNDRY SINK
P7a. SINK
P7b. SINK
P8. LINEAR FLOOR DRAIN
P8a. DRAIN COVER A (STAINLESS STL)
P8b. DRAIN COVER B (TILE IN)

DESIGN ARCHITECT

MICHAEL GRAVES
ARCHITECTURE & DESIGN

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CIVIL ENGINEER

INSITE ENGINEERING, LLC

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REVISIONS:	
DATE:	NO. DESCRIPTION:
PROJECT NUMBER	
21507-00	
PROJECT NAME	
MEYER RESIDENCE	
1 LOT# ROAD MONMOUTH BEACH, NJ 07750	
PHASE	
BLDG PERMIT & CONSTRUCTION	
SEAL	
DRAWING TITLE	
BUILDING SECTION	
DATE	SCALE
10/10/2016	1/4"=1'-0"
SHEET NUMBER	

A4.02

1 BUILDING SECTION
1/4"=1'-0"

LEGEND

NOTES:
1. SEE SPECIFICATIONS FOR ALL FINISHES, ACCESSORIES, EQUIPMENT & PLUMBING FIXTURES
2. PROVIDE & COORDINATE BLOCKING FOR MILLWORK, EQUIPMT, LIGHTING, HARDWARE, HANDRAILS & GRAB BARS

FINISH MATERIAL/ACCESSORY/FIXTURE

F1a. GYP. WALL BD - PAINT
F1b. GYP. WALL BD - WALL COVERING
F2. NON-PAPER FACED GYP. WALL BD - PAINT
F3. STUCCO
F4. COMPOSITE TRIM - PAINT
F5. ENGINEERED FLOOD VENT
F6. SCREEN
F7. BASEBOARD MOULDING
F8. DOOR/WINDOW CASING
F9. STAINLESS STEEL
F10. GRAB BAR
F11. MIRROR
F12. STAIR RAIL
F13. BUILT-IN CUSTOM CABINET
F14. CLOSET ROD & SHELF
F15. GLASS GUARDRAIL- POST SYSTEM
F16. CHIMNEY
F17a. STONE/TILE A
F17b. STONE/TILE B
F17c. STONE/TILE C
F18. TOILET PAPER DISPENSER
F19. WOOD TRIM

EQUIPMENT

1a. GAS FURNACE
1b. INDOOR COIL
2. ELECTRIC METER
3. GAS METER
4. ELEC. PANEL (MAIN)
5. ELEC. PANEL (SUBPANEL)
6. WATER HEATER
7. WASHER
8. GAS DRYER
9. A/C CONDENSER
10. GENERATOR
11. GENERATOR TRANSFER SWITCH
12. ELEVATOR
12a. ELEVATOR CONTROLLER
12b. ELEVATOR DISCONNECTS
13. GAS FIREPLACE
14. ELECTRIC HEATER
15. HEAT PUMP
16. GARAGE DOOR OPENER
17. IRRIGATION CONTROL
18. IRRIGATION VALVE BOXES
19. PEX PLUMBING MANIFOLD

KITCHEN EQUIPMENT

K1. SINK A
K2. GAS RANGE
K3. EXHAUST HOOD
K4. DRAWER MICROWAVE
K5. REFRIGERATOR A
K6. FREEZER
K7. NOT USED
K8. WARMING DRAWER
K9. NOT USED
K10. INDUCTION COOKTOP
K11a. DOWNDRAFT RECIRC. MODULE
K11b. DOWNDRAFT VENTILATION FAN
K12. DISHWASHER
K13. SINK B
K14. MICROWAVE
K15. NOT USED
K16. BAR REFRIGERATOR
K17. FAUCET

BATH/UTILITY PLUMBING FIXT

P1. MOP SINK
P2. COMBO WHIRLPOOL TUB/SHOWER TOILET
P3. WALL CARRIER (2 X 4 WALL)
P4a. WALL CARRIER (PRE-WALL)
P4c. WALL CARRIER (PRE-WALL)
P5a. HANDSHOWER
P5c. THERMOSTATIC SHOWER SYS. TRIM
P6a. FAUCET - MOP SINK
P6b. FAUCET - BATHRM SINK
P6c. FAUCET - LAUNDRY SINK
P7a. SINK
P7b. SINK
P8. LINEAR FLOOR DRAIN
P8a. DRAIN COVER A (STAINLESS STL)
P8b. DRAIN COVER B (TILE IN)

DESIGN ARCHITECT

MICHAEL GRAVES
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REVISIONS:		
DATE:	NO.	DESCRIPTION:

PROJECT NUMBER

21507-00

PROJECT NAME

MEYER RESIDENCE

1 LCR1 ROAD
MONMOUTH BEACH, NJ 07750

PHASE

BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE

BUILDING SECTION

DATE

10/10/2016

SCALE

1/4"=1'-0"

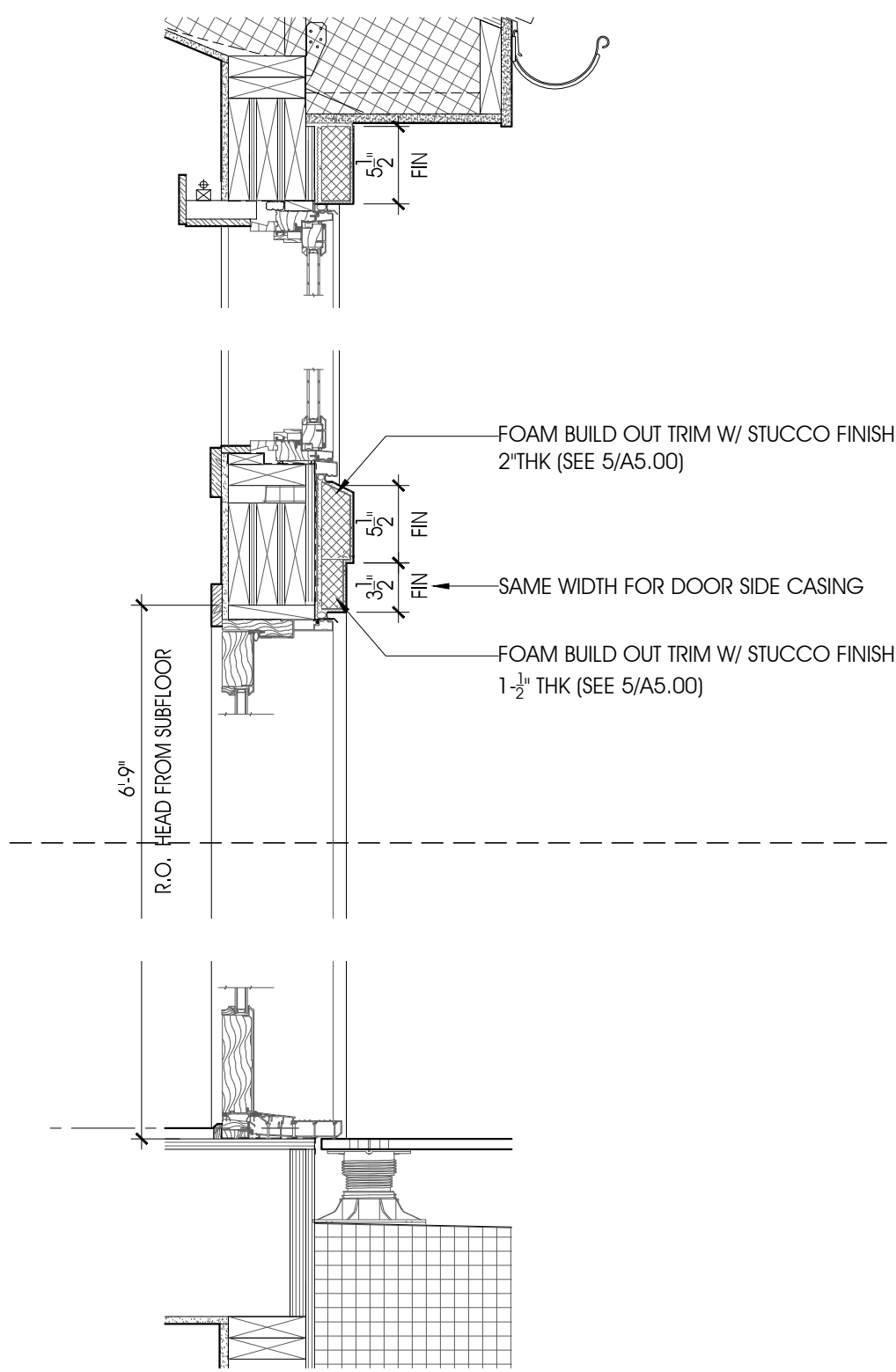
SHEET NUMBER

A4.04

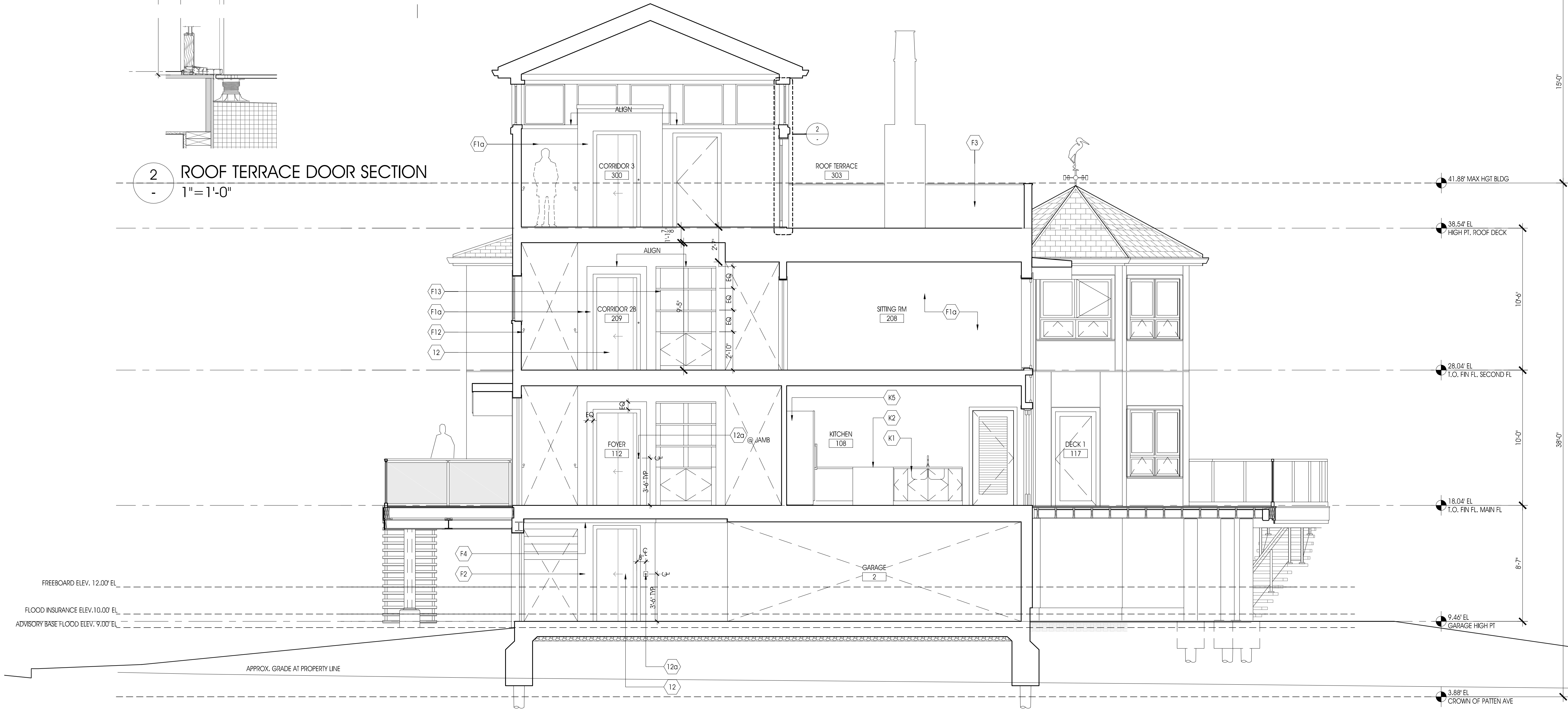
1

BUILDING SECTION

1/4"=1'-0"



2 ROOF TERRACE DOOR SECTION
1" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"

LEGEND

NOTES:

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- PROVIDE & COORDINATE BLOCKING FOR MILLWORK, EQUIPMT, LIGHTING, HARDWARE, HANDRAILS & GRAB BARS

FINISH MATERIAL/ACCESSORY/FIXTURE

- F1a. GYP. WALL BD - PAINT
- F1b. GYP. WALL BD - WALL COVERING
- F2. NON-PAPER FACED GYP. WALL BD - PAINT
- F3. STUCCO
- F4. COMPOSITE TRIM - PAINT
- F5. ENGINEERED FLOOD VENT
- F6. SCREEN
- F7. BASEBOARD MOULDING
- F8. DOOR/WINDOW CASING
- F9. STAINLESS STEEL
- F10. GRAB BAR
- F11. MIRROR
- F12. STAIR RAIL
- F13. BUILT-IN CUSTOM CABINET
- F14. CLOSET ROD & SHELF
- F15. GLASS GUARDRAIL - POST SYSTEM
- F16. CHIMNEY
- F17a. STONE/TILE A
- F17b. STONE/TILE B
- F17c. STONE/TILE C
- F18. TOILET PAPER DISPENSER
- F19. WOOD TRIM

EQUIPMENT

- 1a. GAS FURNACE
- 1b. INDOOR COIL
- 2. ELECTRIC METER
- 3. GAS METER
- 4. ELEC. PANEL (MAIN)
- 5. ELEC. PANEL (SUBPANEL)
- 6. WATER HEATER
- 7. WASHER
- 8. GAS DRYER
- 9. A/C CONDENSER
- 10. GENERATOR
- 11. GENERATOR TRANSFER SWITCH
- 12. ELEVATOR
- 12a. ELEVATOR CONTROLLER
- 12b. ELEVATOR DISCONNECTS
- 13. GAS FIREPLACE
- 14. ELECTRIC HEATER
- 15. HEAT PUMP
- 16. GARAGE DOOR OPENER
- 17. IRRIGATION CONTROL
- 18. IRRIGATION VALVE BOXES
- 19. PEX PLUMBING MANIFOLD

KITCHEN EQUIPMENT

- K1. SINK A
- K2. GAS RANGE
- K3. EXHAUST HOOD
- K4. DRAWER MICROWAVE
- K5. REFRIGERATOR A
- K6. FREEZER
- K7. NOT USED
- K8. WARMING DRAWER
- K9. NOT USED
- K10. INDUCTION COOKTOP
- K11a. DOWNDRAFT RECIRC. MODULE
- K11b. DOWNDRAFT VENTILATION FAN
- K12. DISHWASHER
- K13. SINK B
- K14. MICROWAVE
- K15. NOT USED
- K16. BAR REFRIGERATOR
- K17. FAUCET

BATH/UTILITY PLUMBING FIXTURE

- P1. MOP SINK
- P2. COMBO WHIRLPOOL TUB/SHOWER
- P3. TOILET
- P4a. WALL CARRIER (2 X 4 WALL)
- P4b. WALL CARRIER (2 X 6 WALL)
- P4c. WALL CARRIER (PRE-WALL)
- P5a. HANDSHOWER
- P5b. RAIN HEAD
- P5c. THERMOSTATIC SHOWER SYS. TRIM
- P6a. FAUCET - MOP SINK
- P6b. FAUCET - BATHRM SINK
- P6c. FAUCET - LAUNDRY SINK
- P7a. SINK
- P7b. SINK
- P8. LINEAR FLOOR DRAIN
- P8a. DRAIN COVER A (STAINLESS STL)
- P8b. DRAIN COVER B (TILE IN)

DESIGN ARCHITECT

MICHAEL GRAVES
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REVISIONS:

DATE:	NO.	DESCRIPTION:

PROJECT NUMBER
21507-00

PROJECT NAME
MEYER RESIDENCE

1 LOT# ROAD
MONMOUTH BEACH, NJ 07750

PHASE
BLDG PERMIT &
CONSTRUCTION

SEAL

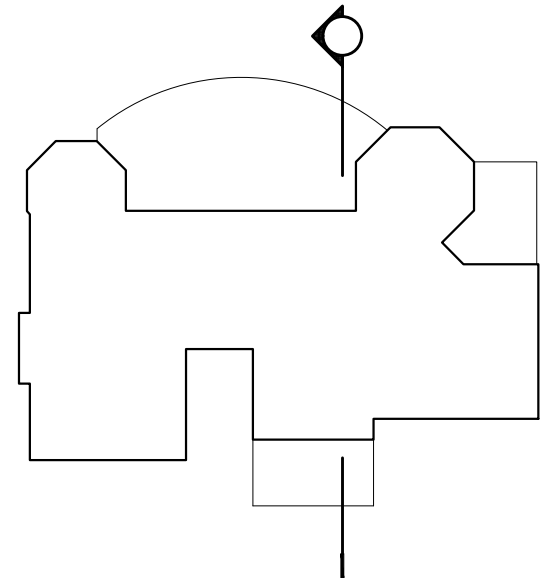
DRAWING TITLE
BUILDING SECTION

DATE
10/10/2016

SCALE
1/4"=1'-0"

SHEET NUMBER
A4.05

0 4 8 FT



LEGEND

NOTES:
1. SEE SPECIFICATIONS FOR ALL FINISHES, ACCESSORIES, EQUIPMENT & PLUMBING FIXTURES
2. PROVIDE & COORDINATE BLOCKING FOR MILLWORK, EQUIPMT, LIGHTING, HARDWARE, HANDRAILS & GRAB BARS

FINISH MATERIAL/ACCESSORY/FIXTURE

F1a. GYP. WALL BD - PAINT
F1b. GYP. WALL BD - WALL COVERING
F2. NON-PAPER FACED GYP. WALL BD - PAINT
F3. STUCCO
F4. COMPOSITE TRIM - PAINT
F5. ENGINEERED FLOOD VENT
F6. SCREEN
F7. BASEBOARD MOULDING
F8. DOOR/WINDOW CASING
F9. STAINLESS STEEL
F10. GRAB BAR
F11. MIRROR
F12. STAIR RAIL
F13. BUILT-IN CUSTOM CABINET
F14. CLOSET ROD & SHELF
F15. GLASS GUARDRAIL- POST SYSTEM
F16. CHIMNEY
F17a. STONE/TILE A
F17b. STONE/TILE B
F17c. STONE/TILE C
F18. TOILET PAPER DISPENSER
F19. WOOD TRIM

EQUIPMENT

1a. GAS FURNACE
1b. INDOOR COIL
2. ELECTRIC METER
3. GAS METER
4. ELEC. PANEL (MAIN)
5. ELEC. PANEL (SUBPANEL)
6. WATER HEATER
7. WASHER
8. GAS DRYER
9. A/C CONDENSER
10. GENERATOR
11. GENERATOR TRANSFER SWITCH
12. ELEVATOR
12a. ELEVATOR CONTROLLER
12b. ELEVATOR DISCONNECTS
13. GAS FIREPLACE
14. ELECTRIC HEATER
15. HEAT PUMP
16. GARAGE DOOR OPENER
17. IRRIGATION CONTROL
18. IRRIGATION VALVE BOXES
19. PEX PLUMBING MANIFOLD

KITCHEN EQUIPMENT

K1. SINK A
K2. GAS RANGE
K3. EXHAUST HOOD
K4. DRAWER MICROWAVE
K5. REFRIGERATOR A
K6. FREEZER
K7. NOT USED
K8. WARMING DRAWER
K9. NOT USED
K10. INDUCTION COOKTOP
K11a. DOWNDRAFT RECIRC. MODULE
K11b. DOWNDRAFT VENTILATION FAN
K12. DISHWASHER
K13. SINK B
K14. MICROWAVE
K15. NOT USED
K16. BAR REFRIGERATOR
K17. FAUCET

BATH/UTILITY PLUMBING FIXT

P1. MOP SINK
P2. COMBO WHIRLPOOL TUB/SHOWER
P3. TOILET
P4a. WALL CARRIER (2 X 4 WALL)
P4b. WALL CARRIER (2 X 6 WALL)
P4c. WALL CARRIER (PRE-WALL)
P5a. HANDSHOWER
P5b. RAIN HEAD
P5c. THERMOSTATIC SHOWER SYS. TRIM
P6a. FAUCET - MOP SINK
P6b. FAUCET - BATHRM SINK
P6c. FAUCET - LAUNDRY SINK
P7a. SINK
P7b. SINK
P8. LINEAR FLOOR DRAIN
P8a. DRAIN COVER A (STAINLESS STL)
P8b. DRAIN COVER B (TILE IN)

DESIGN ARCHITECT

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T: 732.631.7100 F: 732.531.7344

REVISIONS:		
DATE:	NO.	DESCRIPTION:

PROJECT NUMBER
21507-00

PROJECT NAME
MEYER RESIDENCE
1 LOT#1 ROAD
MONMOUTH BEACH, NJ 07750

PHASE
BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE
BUILDING SECTION

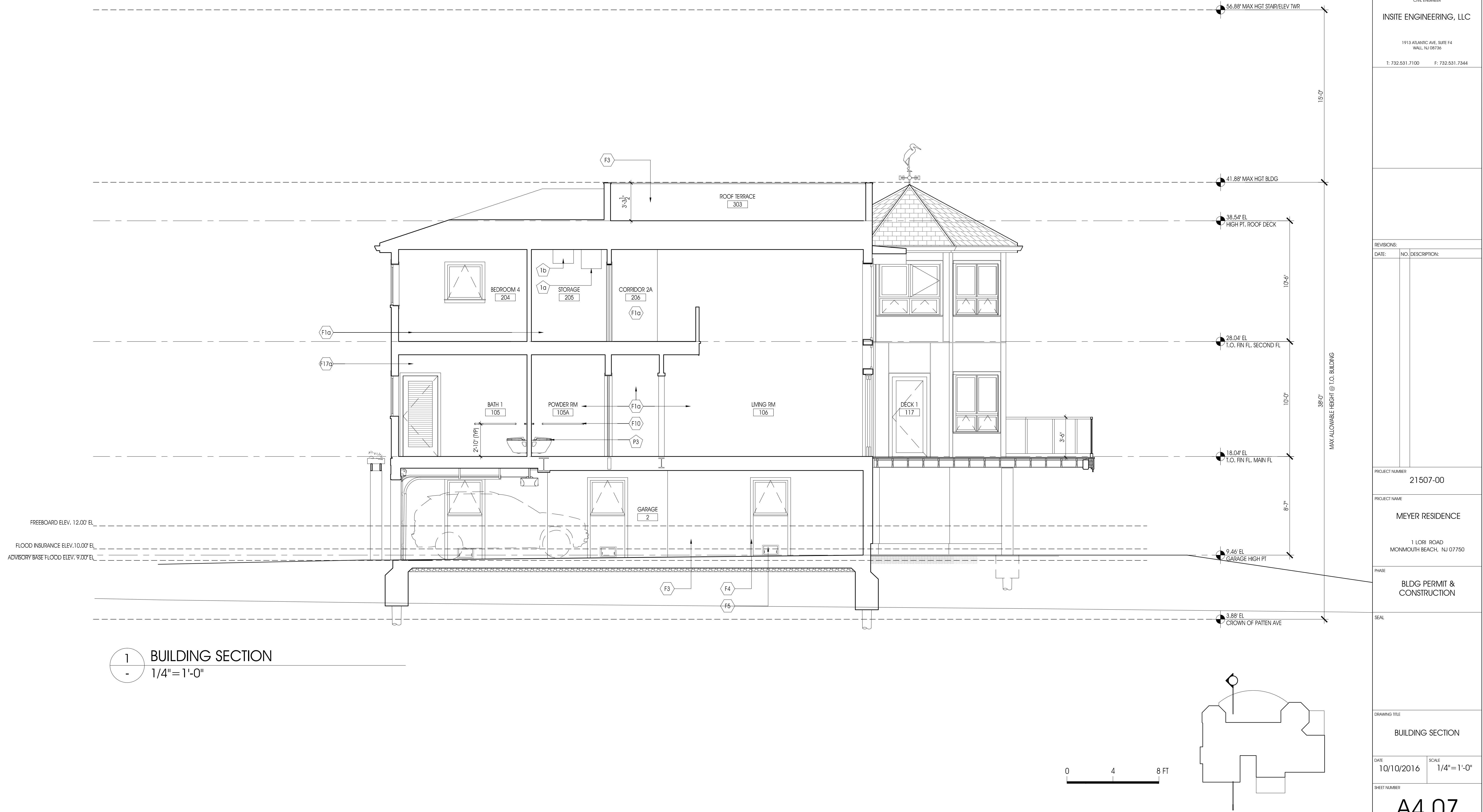
DATE
10/10/2016

SCALE
1/4"=1'-0"

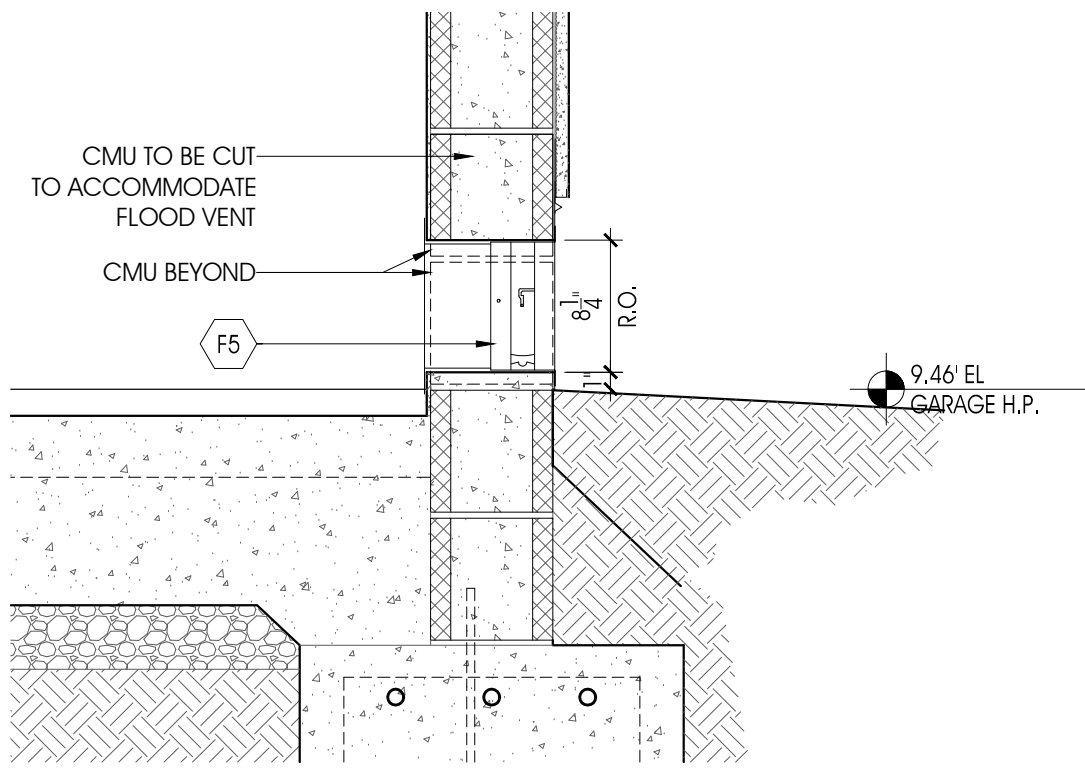
SHEET NUMBER

A4.06

LEGEND				
NOTES: 1. SEE SPECIFICATIONS FOR ALL FINISHES, ACCESSORIES, EQUIPMENT & PLUMBING FIXTURES 2. PROVIDE & COORDINATE BLOCKING FOR MILLWORK, EQUIPMT, LIGHTING, HARDWARE, HANDRAILS & GRAB BARS	## FINISH MATERIAL/ACCESSORY/FIXTURE	## EQUIPMENT	## KITCHEN EQUIPMENT	## BATH/UTILITY PLUMBING FIXT
	F1a. GYP. WALL BD - PAINT	1a. GAS FURNACE	K1. SINK A	P1. MOP SINK
	F1b. GYP. WALL BD - WALL COVERING	1b. INDOOR COIL	K2. GAS RANGE	P2. COMBO WHIRLPOOL TUB/SHOWER
	F2. NON-PAPER FACED GYP. WALL BD - PAINT	2. ELECTRIC METER	K3. EXHAUST HOOD	P3. TOILET
	F3. STUCCO	3. GAS METER	K4. DRAWER MICROWAVE	P4a. WALL CARRIER (2 X 4 WALL)
	F4. COMPOSITE TRIM - PAINT	4. ELEC. PANEL (MAIN)	K5. REFRIGERATOR A	P4b. WALL CARRIER (2 X 6 WALL)
	F5. ENGINEERED FLOOD VENT	5. ELEC. PANEL (SUBPANEL)	K6. FREEZER	P4c. WALL CARRIER (PRE-WALL)
	F6. SCREEN	6. WATER HEATER	K7. NOT USED	P5a. HANDSHOWER
	F7. BASEBOARD MOULDING	7. WASHER	K8. WARMING DRAWER	P5b. RAIN HEAD
	F8. DOOR/WINDOW CASING	8. GAS DRYER	K9. NOT USED	P5c. THERMOSTATIC SHOWER SYS. TRIM
	F9. STAINLESS STEEL	9. A/C CONDENSER	K10. INDUCTION COOKTOP	P6a. FAUCET - MOP SINK
	F10. GRAB BAR	10. GENERATOR	K11a. DOWNDRAFT RECIRC. MODULE	P6b. FAUCET - BATHRM SINK
	F11. MIRROR	11. GENERATOR TRANSFER SWITCH	K11b. DOWNDRAFT VENTILATION FAN	P6c. FAUCET - LAUNDRY SINK
	F12. STAIR RAIL	12. ELEVATOR	K12. DISHWASHER	P7a. SINK
	F13. BUILT-IN CUSTOM CABINET	12a. ELEVATOR CONTROLLER	K13. SINK B	P7b. SINK
	F14. CLOSET ROD & SHELF	12b. ELEVATOR DISCONNECTS	K14. MICROWAVE	P8. LINEAR FLOOR DRAIN
	F15. GLASS GUARDRAIL- POST SYSTEM	13. GAS FIREPLACE	K15. NOT USED	P8a. DRAIN COVER A (STAINLESS STL)
	F16. CHIMNEY	14. ELECTRIC HEATER	K16. BAR REFRIGERATOR	P8b. DRAIN COVER B (TILE IN)
	F17a. STONE/TILE A	15. HEAT PUMP	K17. FAUCET	
	F17b. STONE/TILE B	16. GARAGE DOOR OPENER		
	F17c. STONE/TILE C	17. IRRIGATION CONTROL		
		18. IRRIGATION VALVE BOXES		
		19. PEX PLUMBING MANFOLD		



1 BUILDING SECTION
1/4"=1'-0"



2 FLOOD VENT DETAIL
1" = 1'-0"

LEGEND				
NOTES: 1. SEE SPECIFICATIONS FOR ALL FINISHES, ACCESSORIES, EQUIPMENT & PLUMBING FIXTURES 2. PROVIDE & COORDINATE BLOCKING FOR MILLWORK, EQUIP/MT, LIGHTING, HARDWARE, HANDRAILS & GRAB BARS	#	FINISH MATERIAL/ACCESSORY/FIXTURE	#	EQUIPMENT
	F1a.	GYP. WALL BD - PAINT	1a.	GAS FURNACE
	F1b.	GYP. WALL BD - WALL COVERING	1b.	INDOOR COIL
	F2.	IRON-PAPER FACED GYP. WALL BD - PAINT	2.	ELECTRIC METER
	F3.	STUCCO	3.	GAS METER
	F4.	COMPOSITE TRIM - PAINT	4.	ELEC. PANEL (MAIN)
	F5.	ENGINEERED FLOOD VENT	5.	ELEC. PANEL (SUBPANEL)
	F6.	SCREEN	6.	WATER HEATER
	F7.	BASEBOARD MOULDING	7.	WASHER
	F8.	DOOR/WINDOW CASING	8.	GAS DRYER
	F9.	STAINLESS STEEL	9.	A/C CONDENSER
	F10.	GRAB BAR	10.	GENERATOR
	F11.	MIRROR	11.	GENERATOR TRANSFER SWITCH
	F12.	STAIR RAIL	12.	ELEVATOR
	F13.	BUILT-IN CUSTOM CABINET	12a.	ELEVATOR CONTROLLER
	F14.	CLOSET ROD & SHELF	12b.	ELEVATOR DISCONNECTS
	F15.	GLASS GUARDRAIL- POST SYSTEM	13.	GAS FIREPLACE
	F16.	CHIMNEY	14.	ELECTRIC HEATER
	F17a.	STONE/TILE A	15.	HEAT PUMP
	F17b.	STONE/TILE B	16.	GARAGE DOOR OPENER
	F17c.	STONE/TILE C	17.	IRRIGATION CONTROL
	F18.	TOILET PAPER DISPENSER	18.	IRRIGATION VALVE BOXES
	F19.	WOOD TRIM	19.	PEX PLUMBING MANIFOLD
	#	KITCHEN EQUIPMENT	#	BATH/UTILITY PLUMBING FIXT
	K1.	SINK A	P1.	MOP SINK
	K2.	GAS RANGE	P2.	COMBO WHIRLPOOL TUB/SHOWER
	K3.	EXHAUST HOOD	P3.	TOILET
	K4.	DRAWER MICROWAVE	P4a.	WALL CARRIER (2 X 4 WALL)
	K5.	REFRIGERATOR A	P4b.	WALL CARRIER (2 X 6 WALL)
	K6.	FREEZER	P4c.	WALL CARRIER (PRE-WALL)
	K7.	NOT USED	P5a.	HANDSHOWER
	K8.	WARMING DRAWER	P5b.	RAIN HEAD
	K9.	NOT USED	P5c.	THERMOSTATIC SHOWER SYS. TRIM
	K10.	INDUCTION COOKTOP	P6a.	FAUCET - MOP SINK
	K11a.	DOWNDRAFT RECIRC. MODULE	P6b.	FAUCET - BATHRM SINK
	K11b.	DOWNDRAFT VENTILATION FAN	P6c.	FAUCET - LAUNDRY SINK
	K12.	DSHWASHER	P7a.	SINK
	K13.	SINK B	P7b.	SINK
	K14.	MICROWAVE	P8.	LINEAR FLOOR DRAIN
	K15.	NOT USED	P8a.	DRAIN COVER A (STAINLESS STL)
	K16.	BAR REFRIGERATOR	P8b.	DRAIN COVER B (TILE IN)
	K17.	FAUCET		

DESIGN ARCHITECT

MICHAEL GRAVES
ARCHITECTURE & DESIGN

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1 LOT#1 ROAD
MONMOUTH BEACH, NJ 07750

PHASE
BLDG PERMIT &
CONSTRUCTION

SEAL

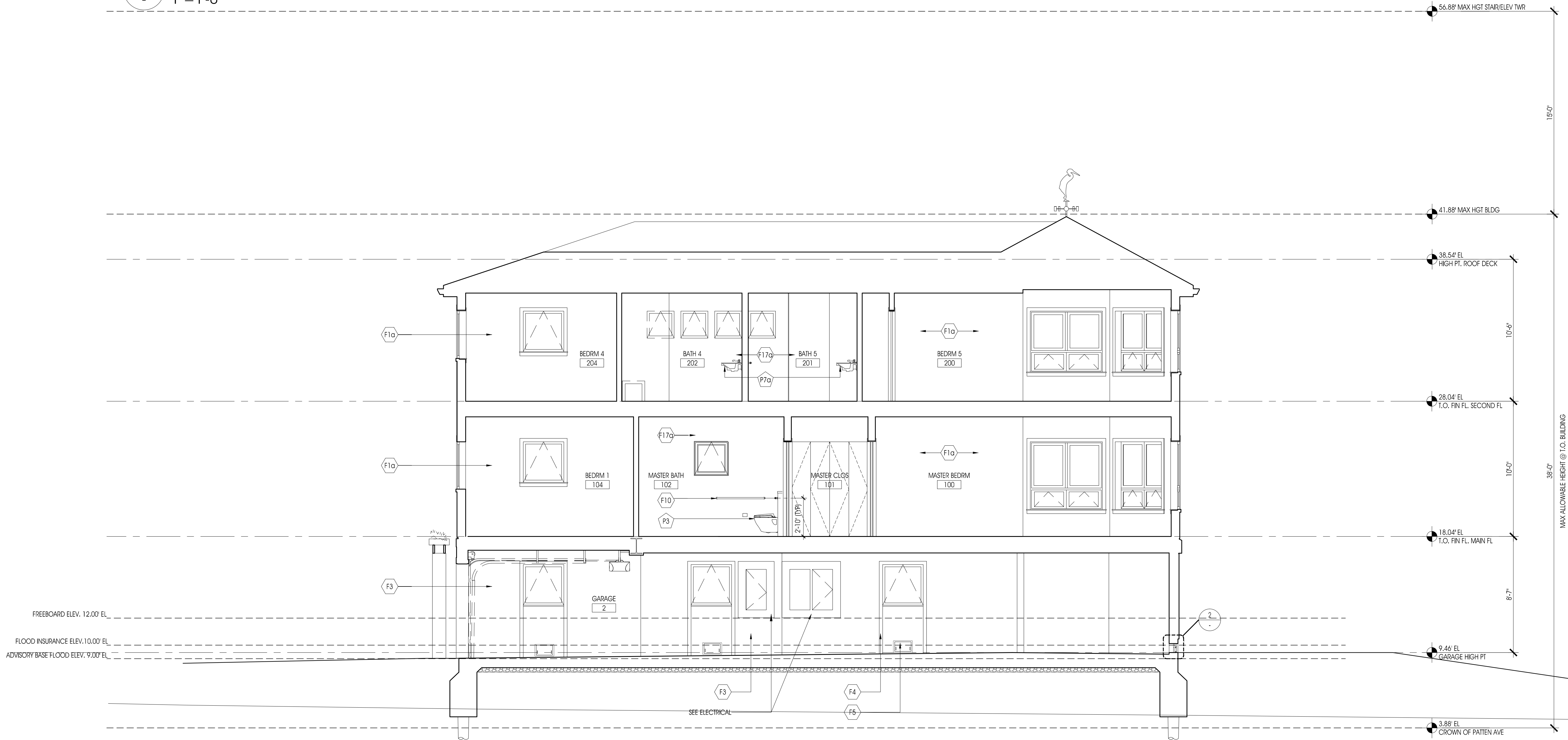
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BUILDING SECTION

DATE
10/10/2016

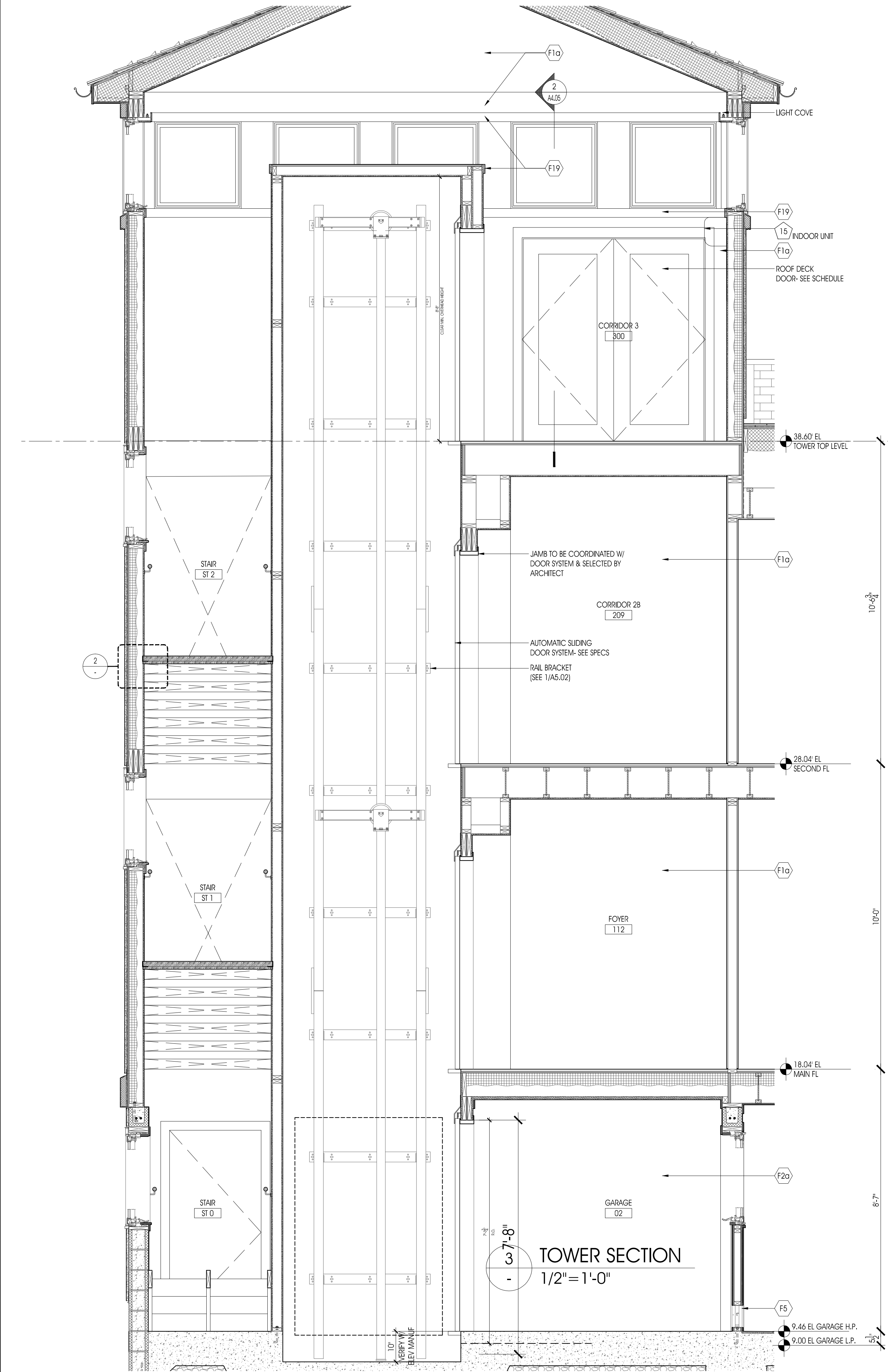
SCALE
AS NOTED

SHEET NUMBER

A4.08

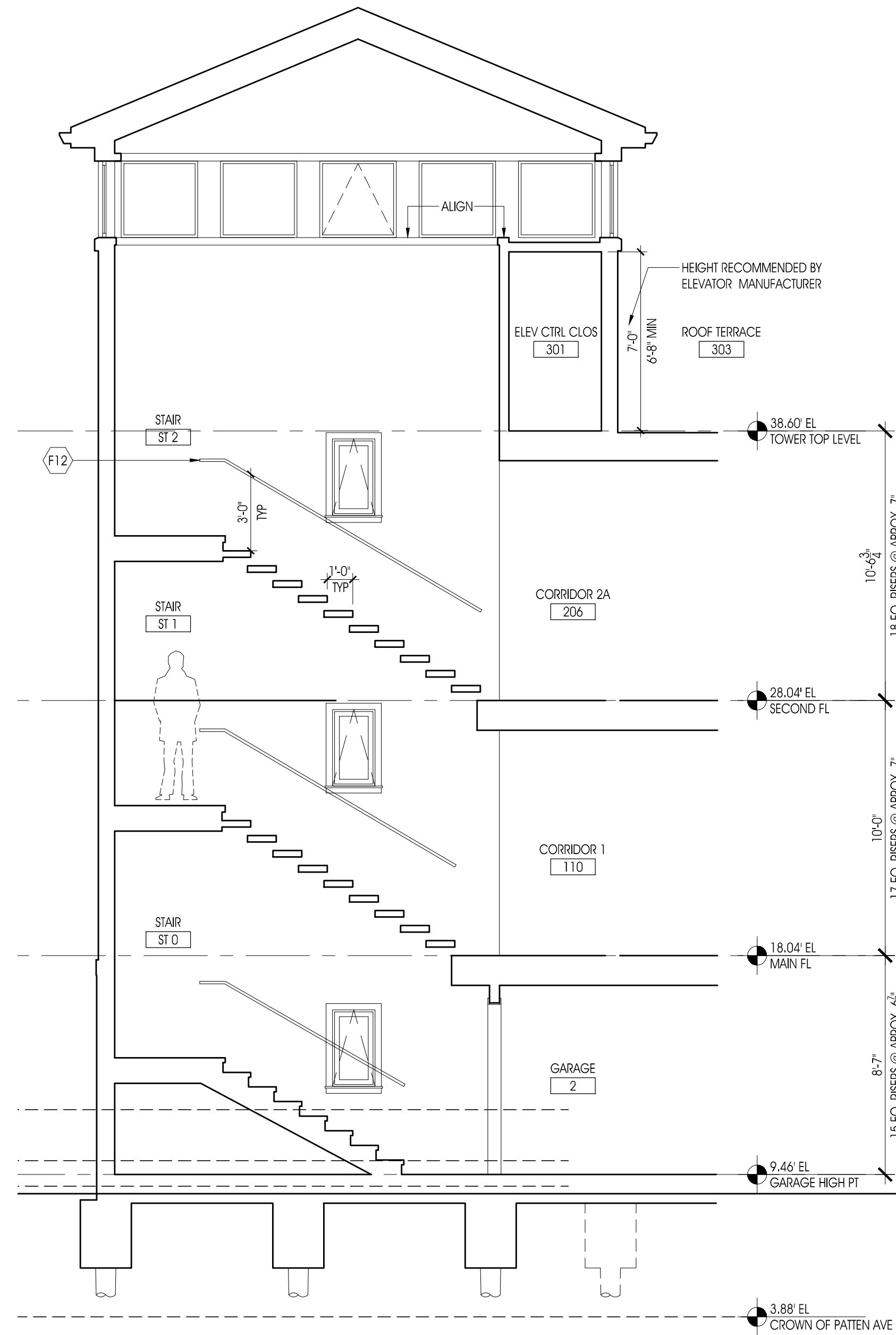
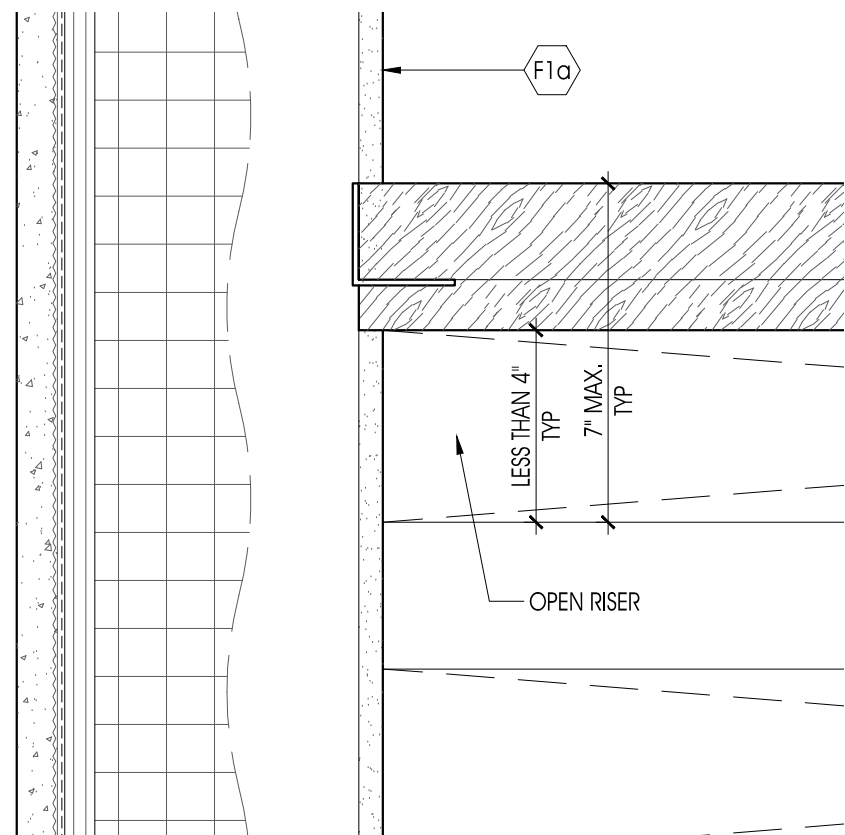


1 BUILDING SECTION
1/4" = 1'-0"

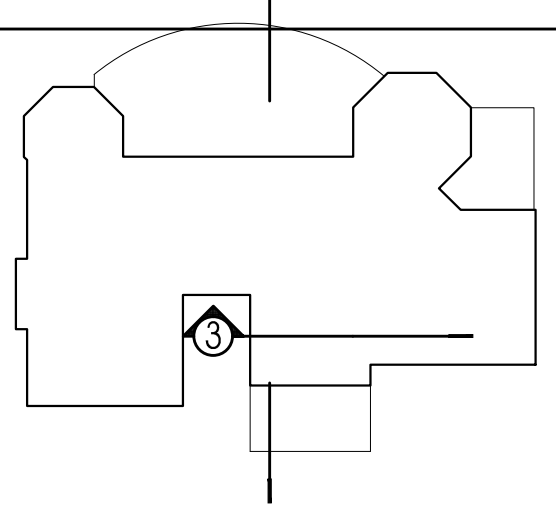


2
-
TREAD DETAIL
3" = 1'-0"

3
-
TOWER SECTION
1/2" = 1'-0"



1
-
TOWER SECTION
1/4" = 1'-0"



LEGEND

NOTES:
1. SEE SPECIFICATIONS FOR ALL FINISHES, ACCESSORIES, EQUIPMENT & PLUMBING FIXTURES
2. PROVIDE & COORDINATE BLOCKING FOR MILLWORK, EQUIPMENT, LIGHTING, HARDWARE, HANDRAILS & GRAB BARS

- ## FINISH MATERIAL/ACCESSORY/FIXTURE
- F1a. GYP. WALL BD - PAINT
 - F1b. GYP. WALL BD - WALL COVERING
 - F2. NON-PAPER FACED GYP. WALL BD - PAINT
 - F3. STUCCO
 - F4. COMPOSITE TRIM - PAINT
 - F5. ENGINEERED FLOOD VENT
 - F6. SCREEN
 - F7. BASEBOARD MOLDING
 - F8. DOOR/WINDOW CASING
 - F9. STAINLESS STEEL
 - F10. GRAB BAR
 - F11. MIRROR
 - F12. STAIR RAIL
 - F13. BUILT-IN CUSTOM CABINET
 - F14. CLOSET ROD & SHELF
 - F15. GLASS GUARDRAIL- POST SYSTEM
 - F16. CHIMNEY
 - F17a. STONE/TILE A
 - F17b. STONE/TILE B
 - F17c. STONE/TILE C
 - F18. TOILET PAPER DISPENSER
 - F19. WOOD TRIM

- ## EQUIPMENT
- 1a. GAS FURNACE
 - 1b. INDOOR COIL
 - 2. ELECTRIC METER
 - 3. GAS METER
 - 4. ELEC. PANEL (MAIN)
 - 5. ELEC. PANEL (SUBPANEL)
 - 6. WATER HEATER
 - 7. WASHER
 - 8. GAS DRYER
 - 9. A/C CONDENSER
 - 10. GENERATOR
 - 11. GENERATOR TRANSFER SWITCH
 - 12. ELEVATOR
 - 12a. ELEVATOR CONTROLLER
 - 12b. ELEVATOR DISCONNECTS
 - 13. GAS FIREPLACE
 - 14. ELECTRIC HEATER
 - 15. HEAT PUMP
 - 16. GARAGE DOOR OPENER
 - 17. IRRIGATION CONTROL
 - 18. IRRIGATION VALVE BOXES
 - 19. PEX PLUMBING MANIFOLD

- ## KITCHEN EQUIPMENT
- K1. SINK A
 - K2. GAS RANGE
 - K3. EXHAUST HOOD
 - K4. DRAWER MICROWAVE
 - K5. REFRIGERATOR A
 - K6. FREEZER
 - K7. NOT USED
 - K8. WARMING DRAWER
 - K9. NOT USED
 - K10. INDUCTION COOKTOP
 - K11a. DOWNDRAFT RECTR. MODULE
 - K11b. DOWNDRAFT VENTILATION FAN
 - K12. DISHWASHER
 - K13. SINK B
 - K14. MICROWAVE
 - K15. NOT USED
 - K16. BAR REFRIGERATOR
 - K17. FAUCET

- ## BATH/UTILITY PLUMBING FIXTURE
- P1. MOP SINK
 - P2. COMBO WHIRLPOOL TUB/SHOWER
 - P3. TOILET
 - P4a. WALL CARRIER (2 X 4 WALL)
 - P4b. WALL CARRIER (2 X 6 WALL)
 - P4c. WALL CARRIER (PRE-WALL)
 - P5a. HANDSHOWER
 - P5c. RAIN HEAD
 - P5c. THERMOSTATIC SHOWER SYS. TRIM
 - P6a. FAUCET - MOP SINK
 - P6b. FAUCET - BATHRM SINK
 - P6c. FAUCET - LAUNDRY SINK
 - P7a. SINK
 - P8. LINEAR FLOOR DRAIN
 - P8a. DRAIN COVER A (STAINLESS STL)
 - P8b. DRAIN COVER B (TILE IN)

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REVISIONS:	
DATE:	NO. DESCRIPTION:

PROJECT NUMBER
21507-00

PROJECT NAME
MEYER RESIDENCE
1 LORI ROAD
MONMOUTH BEACH, NJ 07750

PHASE
**BLDG PERMIT &
CONSTRUCTION**

SEAL

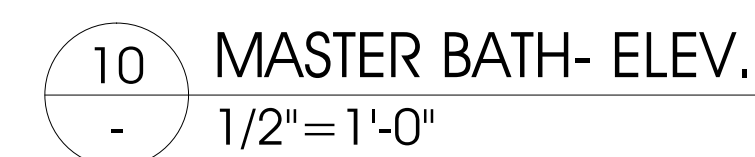
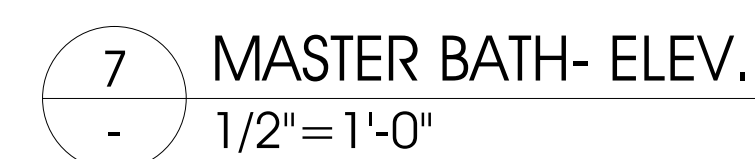
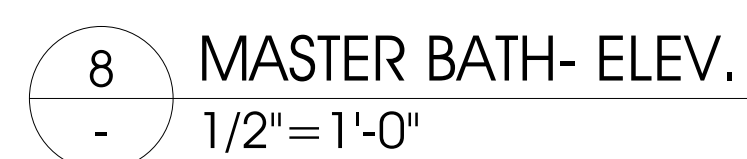
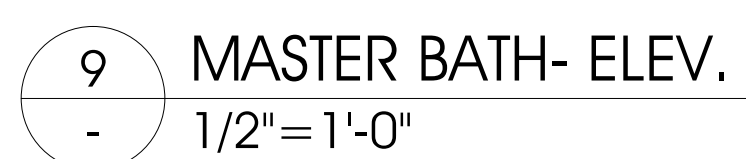
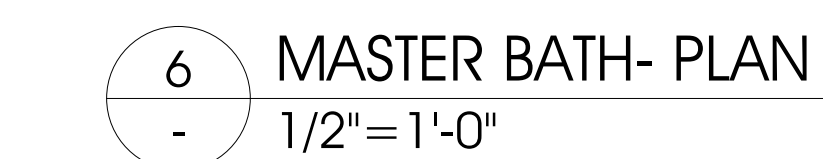
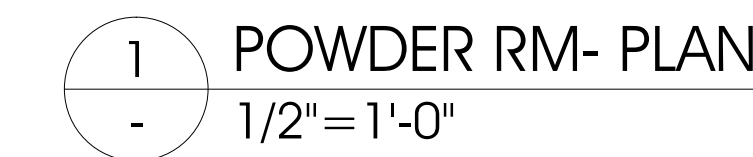
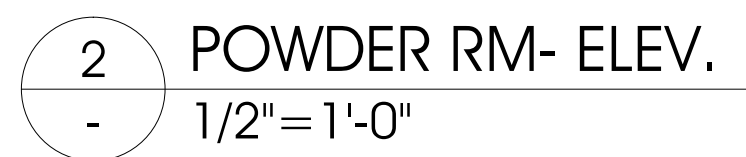
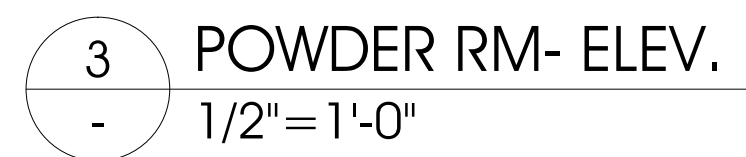
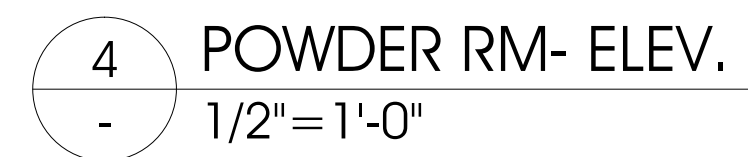
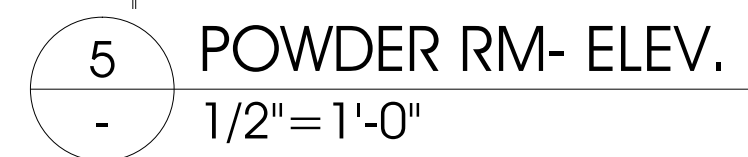
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& DETAILS**

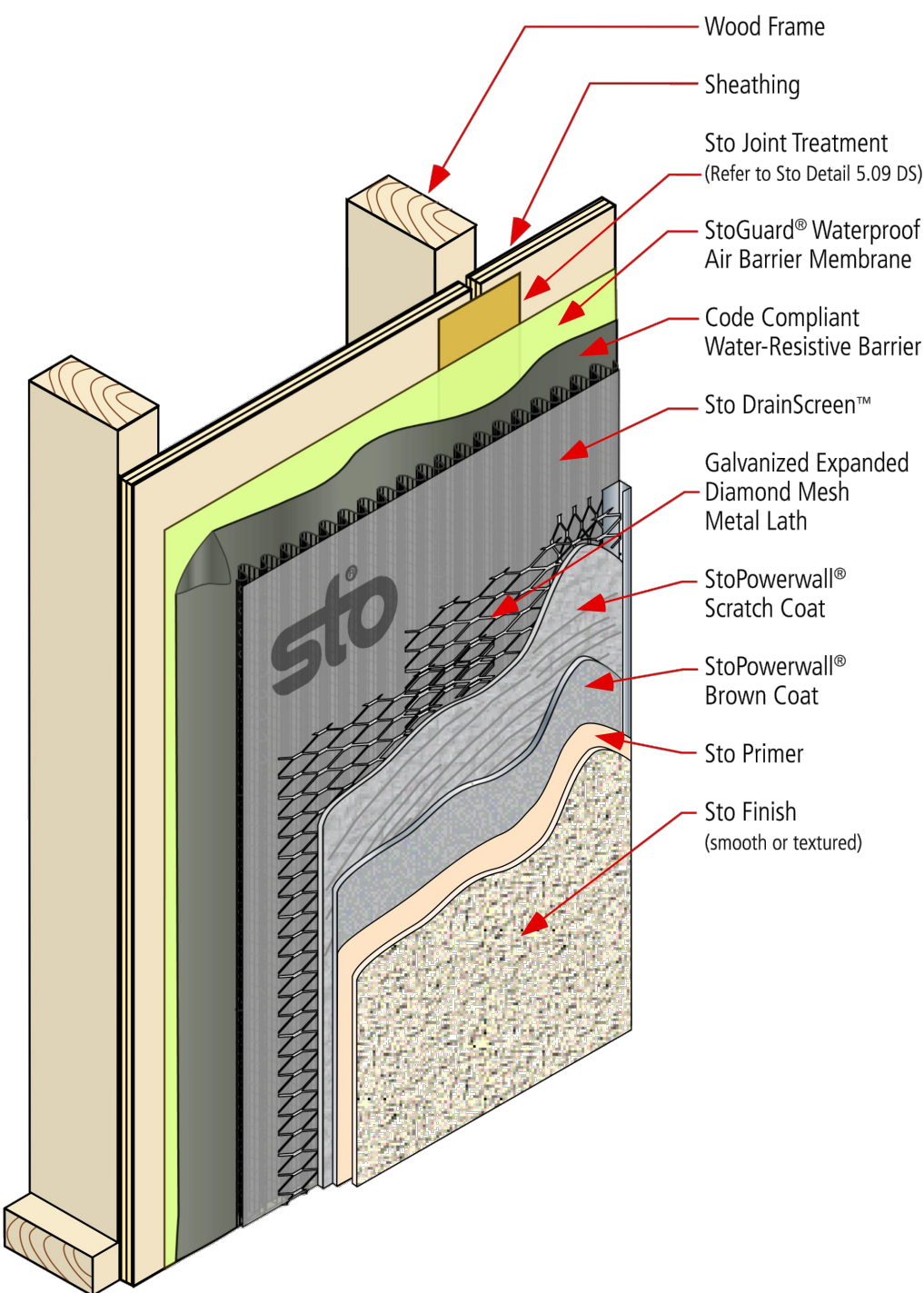
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SCALE
AS NOTED

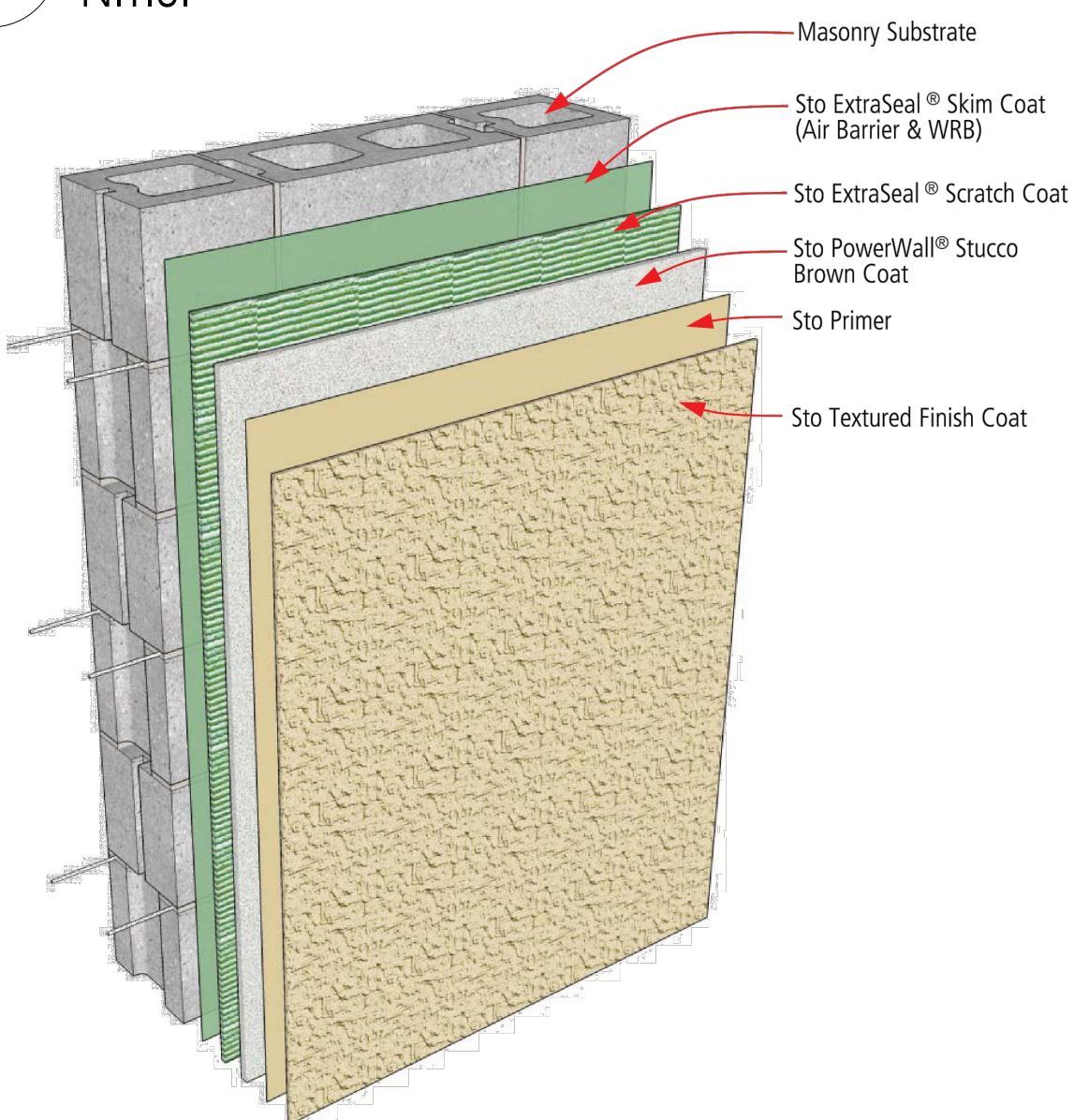
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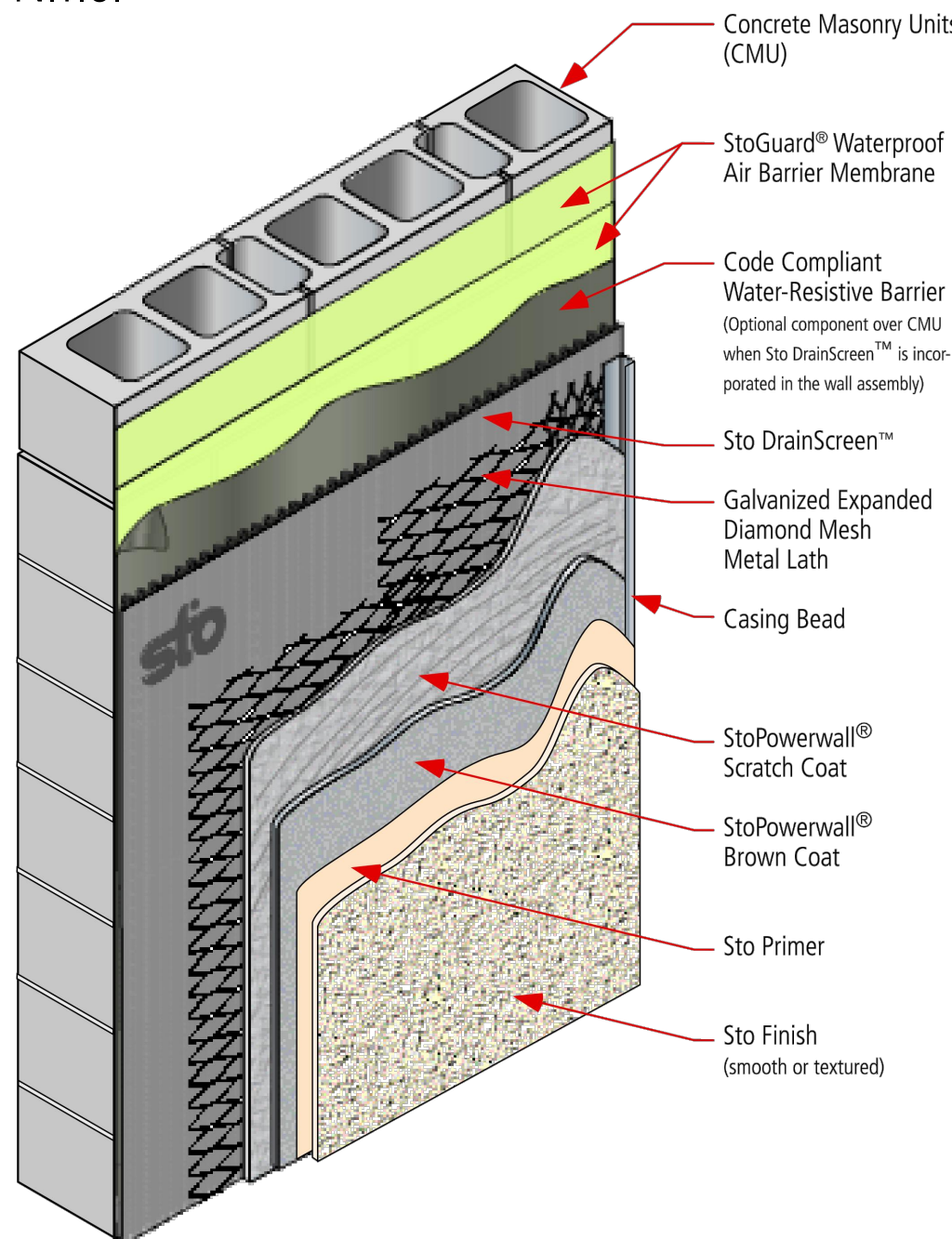




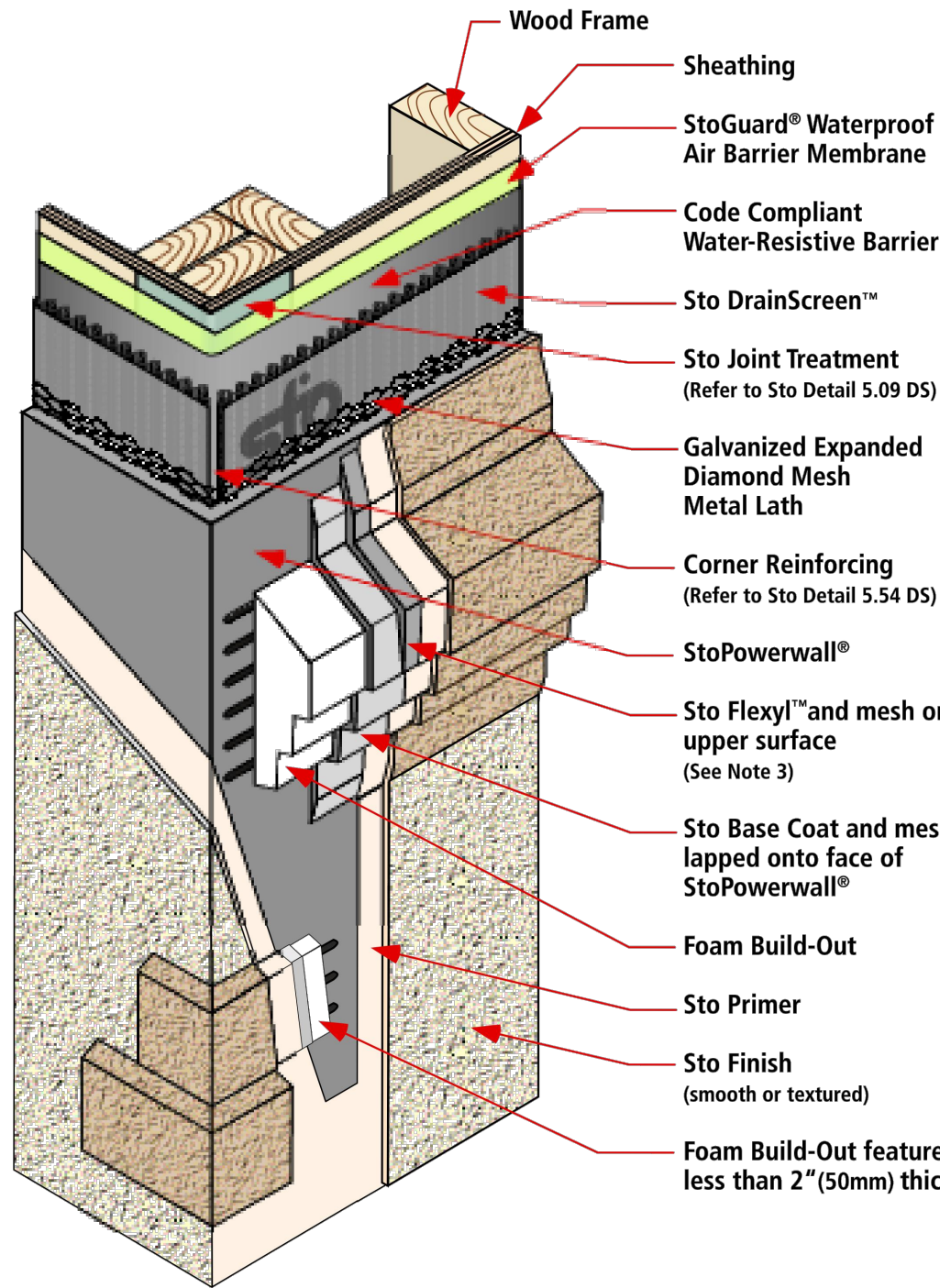
7 STUCCO ASSEMBLY @ WD FRAMED WALL
- N.T.S.



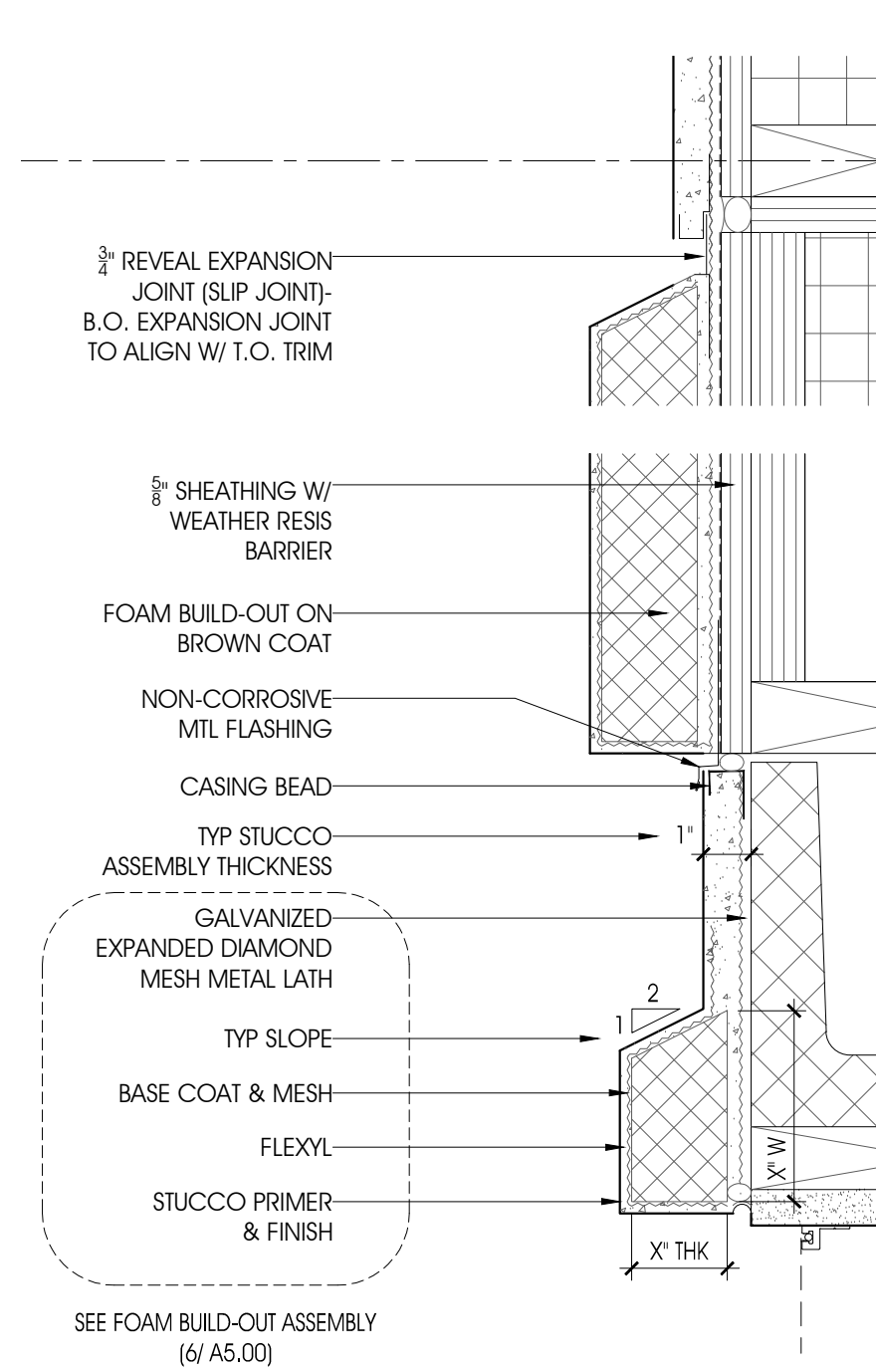
4 ALT. STUCCO ASSEMBLY @ CMU WALL
- N.T.S.



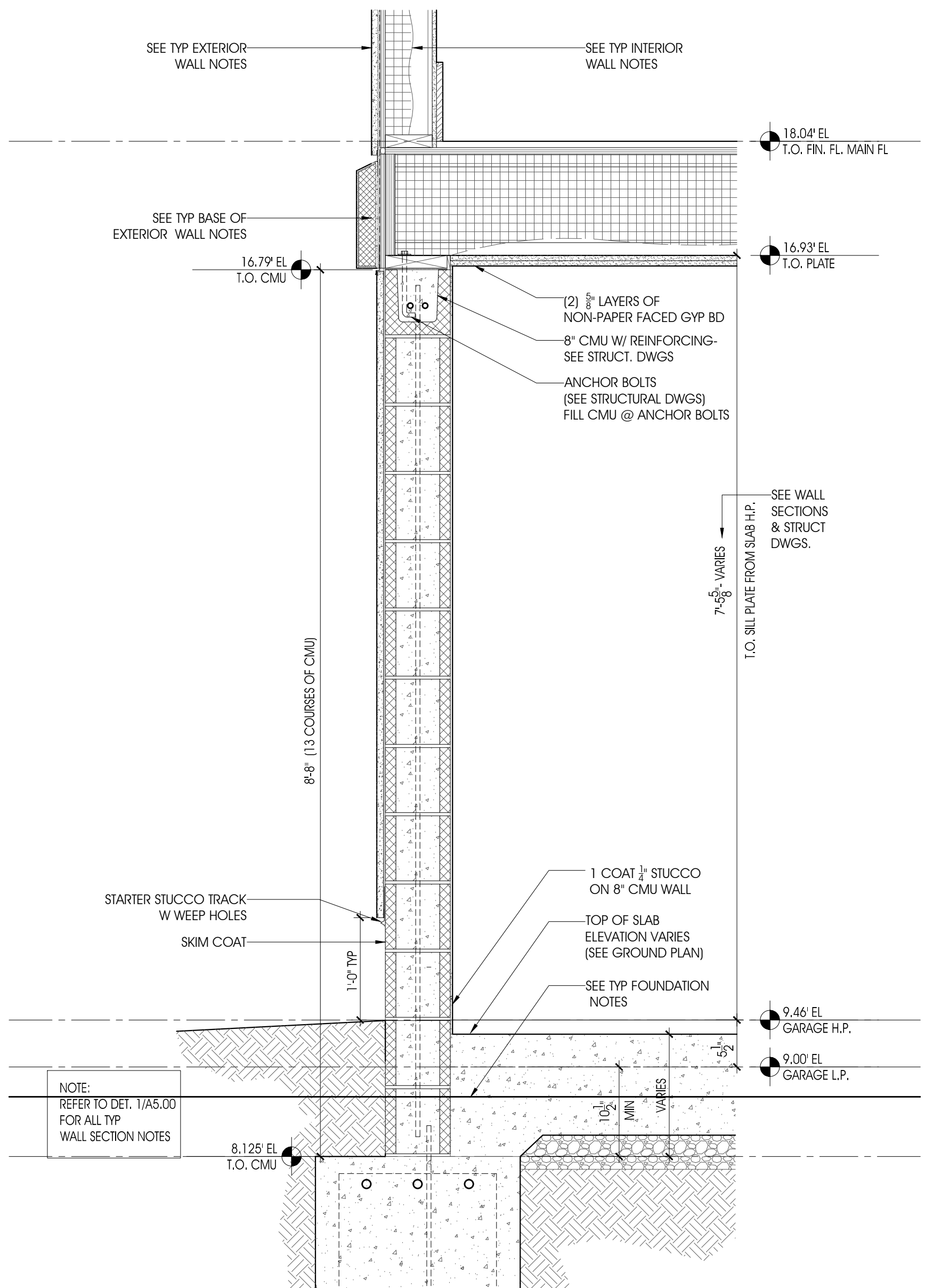
3 STUCCO ASSEMBLY @ CMU WALL
- N.T.S.



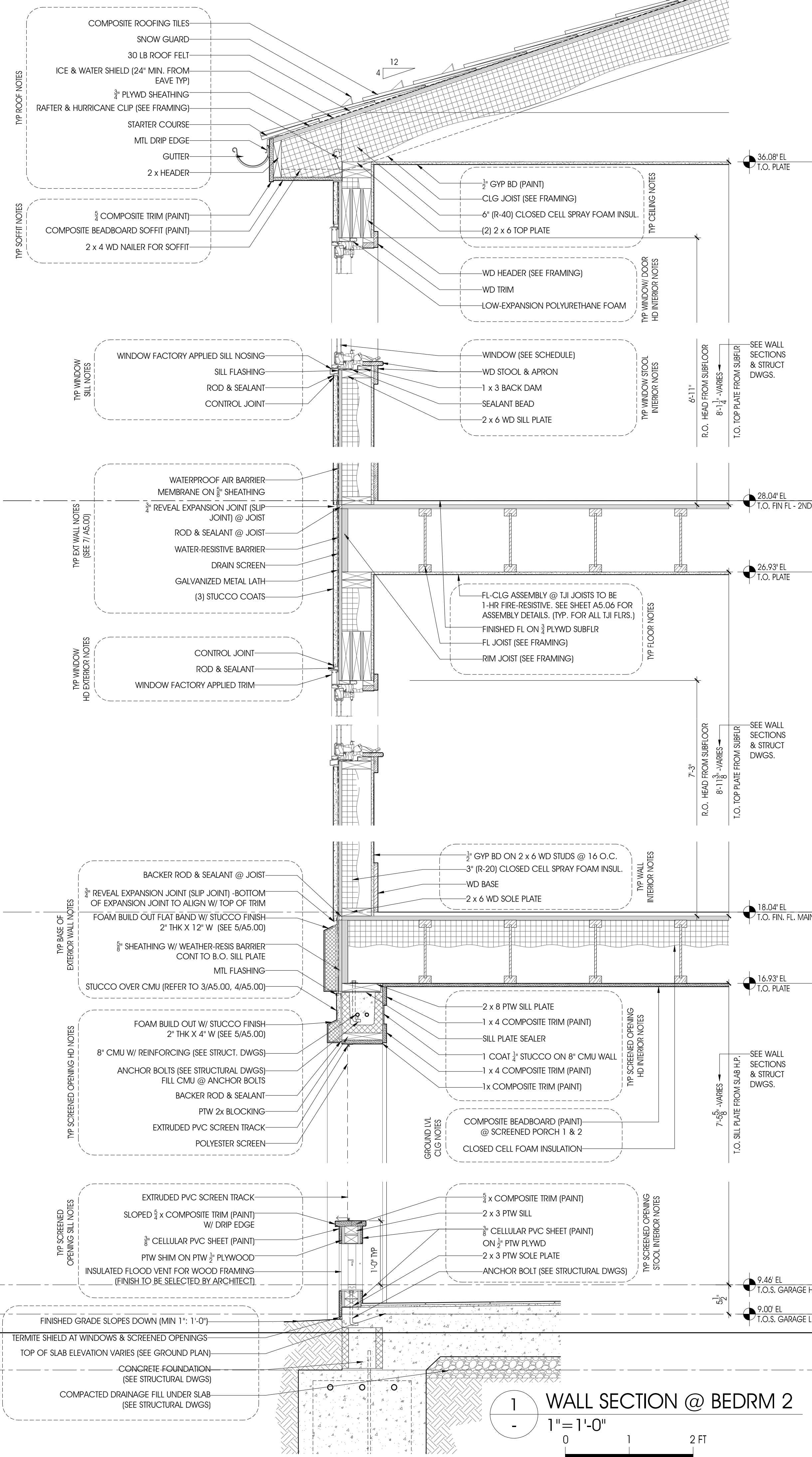
6 FOAM BUILD OUT ASSEMBLY
- N.T.S.



5 FOAM BUILD OUT TYP DETAIL
- 3" = 1'-0"

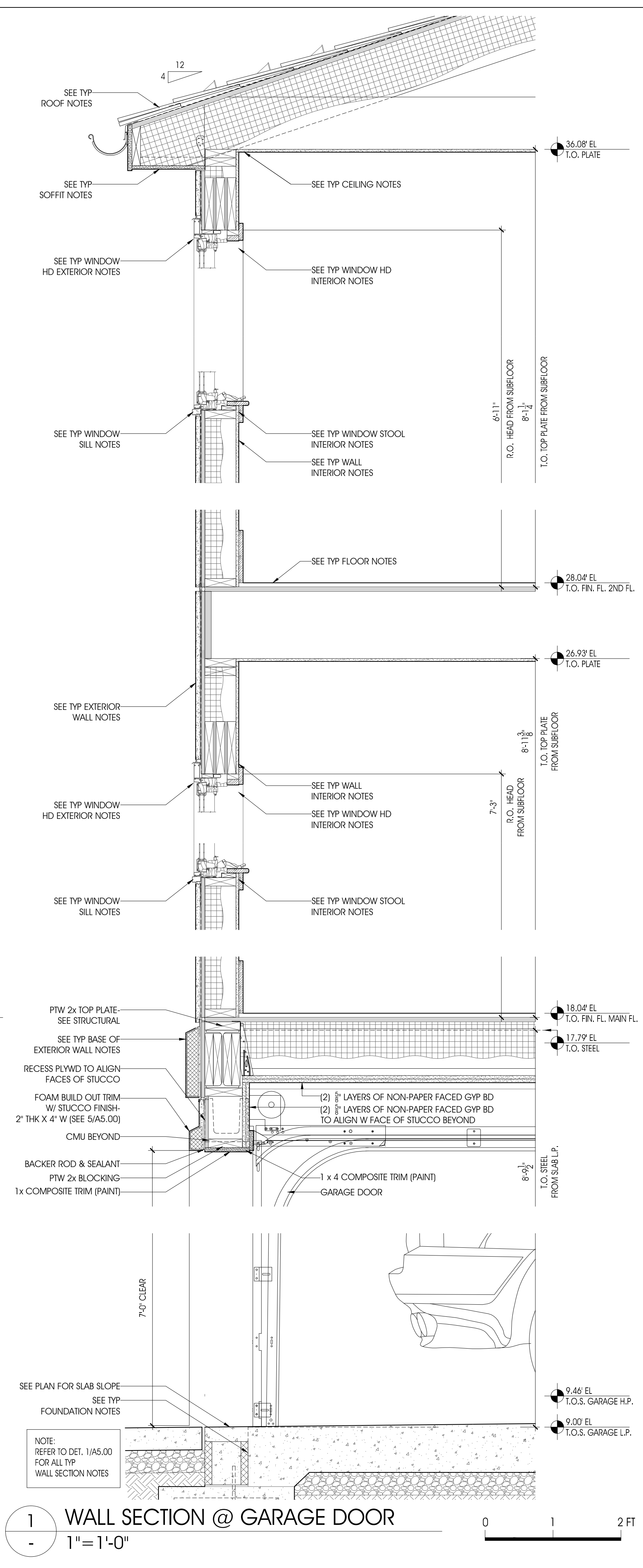
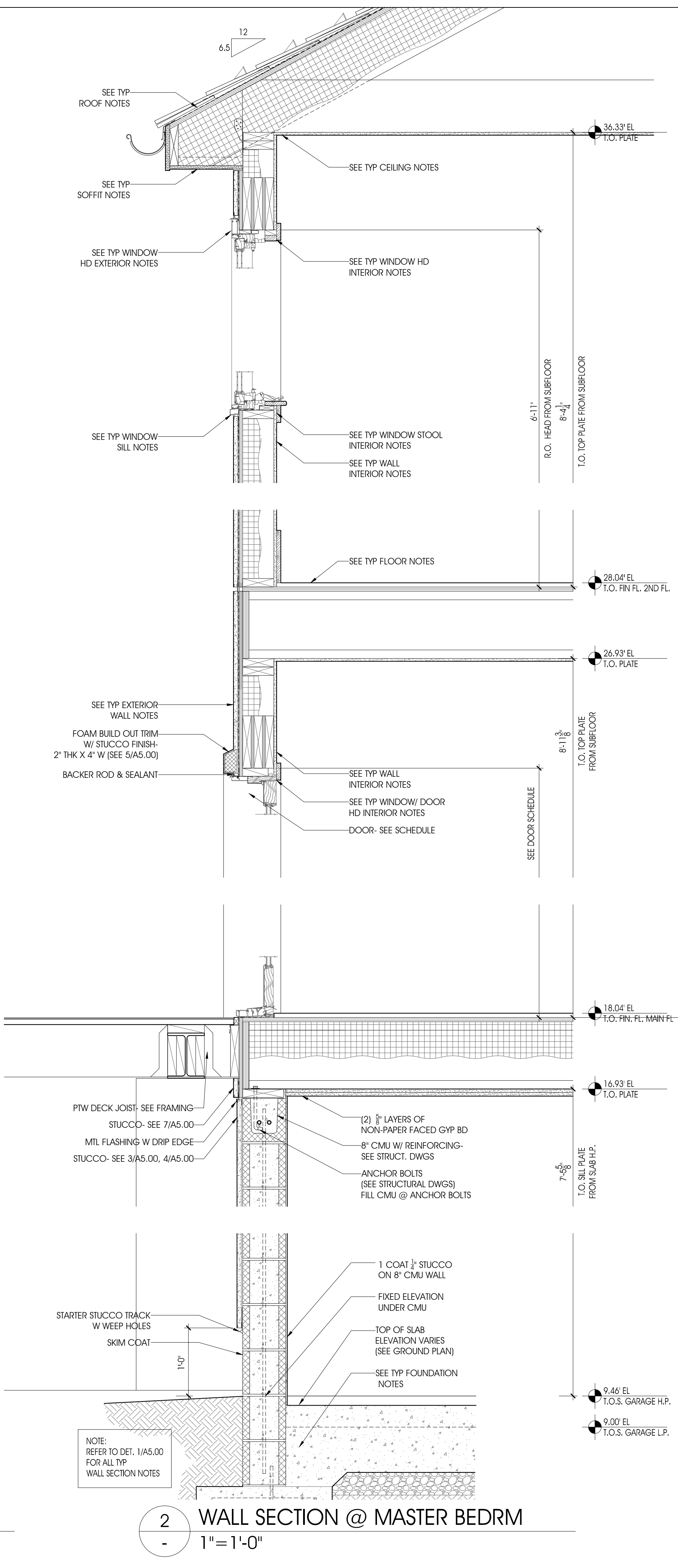
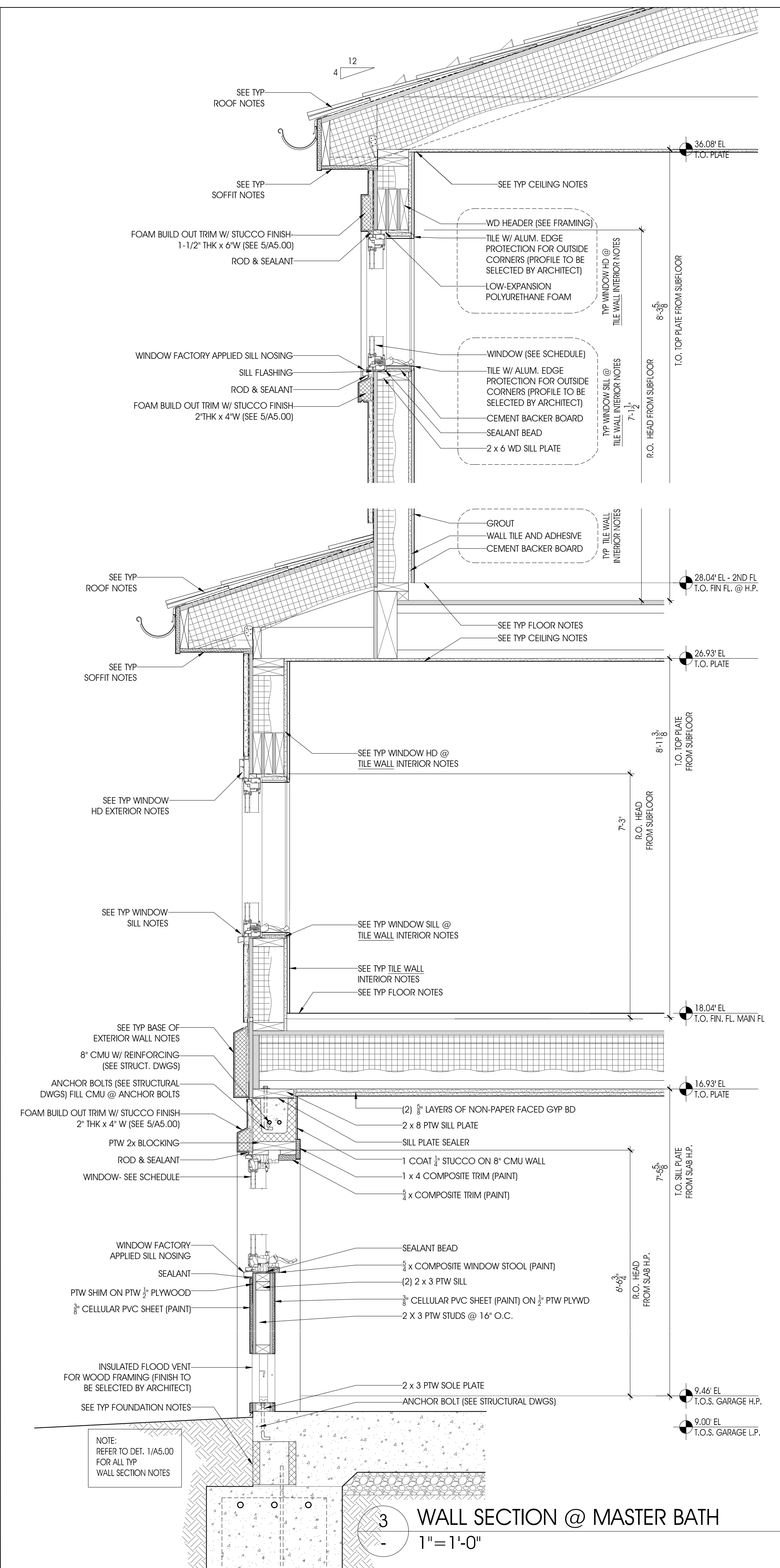


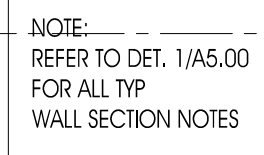
2 TYP WALL SECTION @ GROUND LEVEL
- 1" = 1'-0"



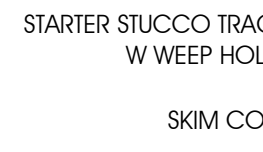
1 WALL SECTION @ BEDRM 2
- 1" = 1'-0"

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DATE:	NO. DESCRIPTION:
PROJECT NUMBER	
21507-00	
PROJECT NAME	
MEYER RESIDENCE	
1 LORI ROAD MONMOUTH BEACH, NJ 07750	
PHASE	
BLDG PERMIT & CONSTRUCTION	
SEAL	
DRAWING TITLE	
WALL SECTIONS	
DATE	SCALE
10/10/2016	AS NOTED
SHEET NUMBER	
A5.00	




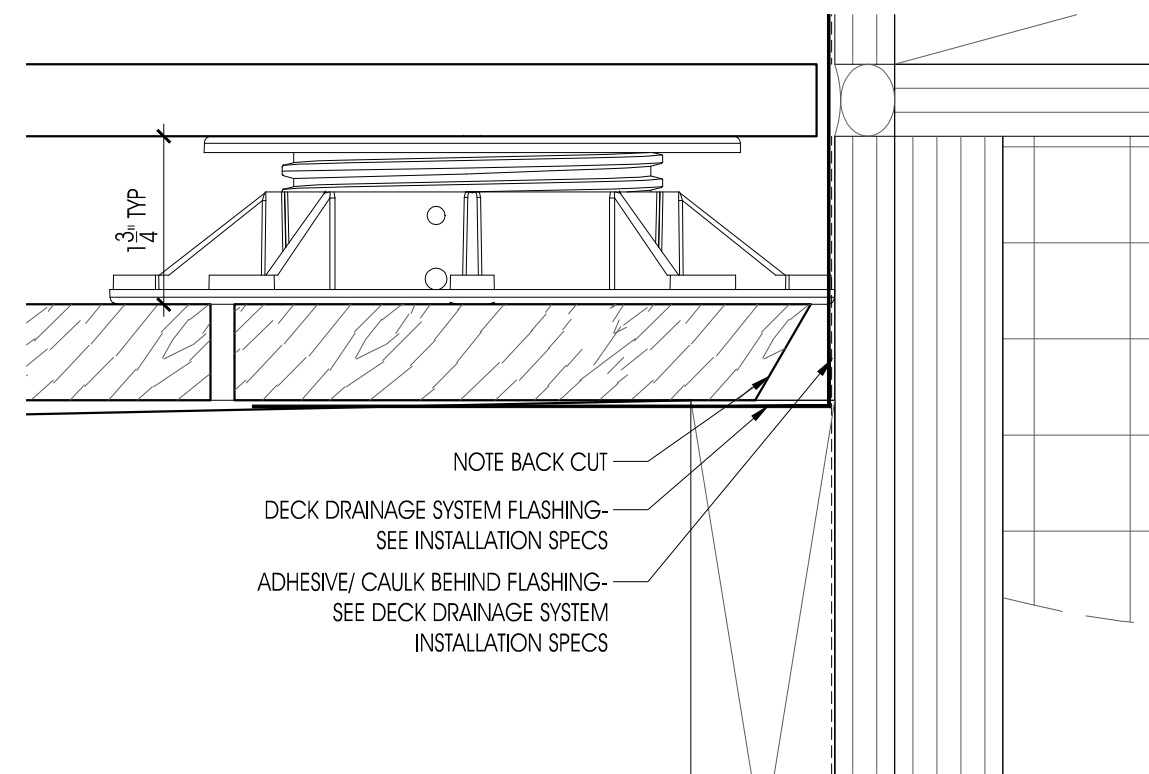


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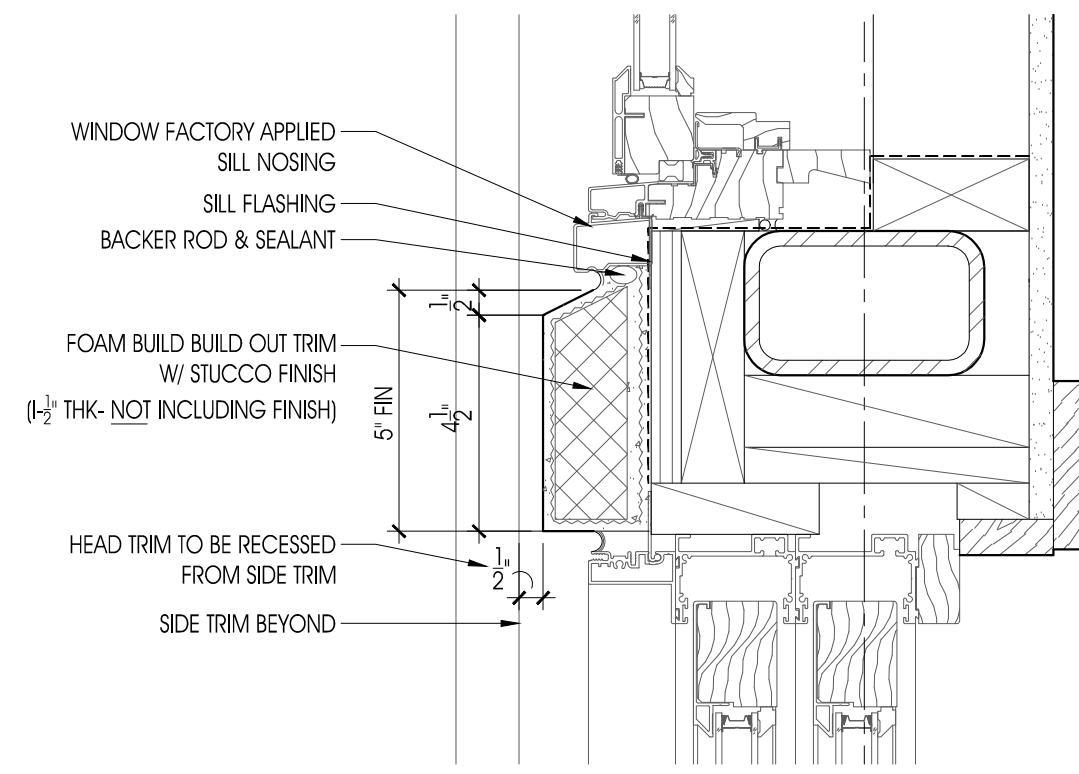


WAL
1"=1'

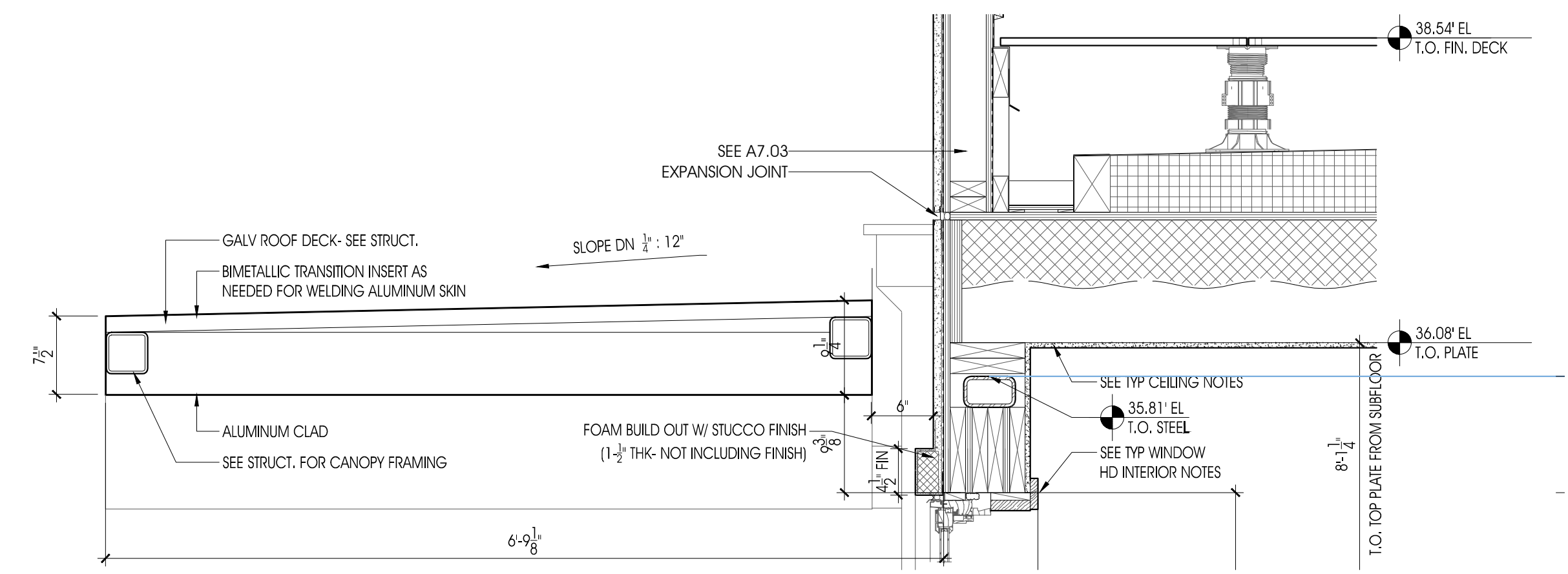




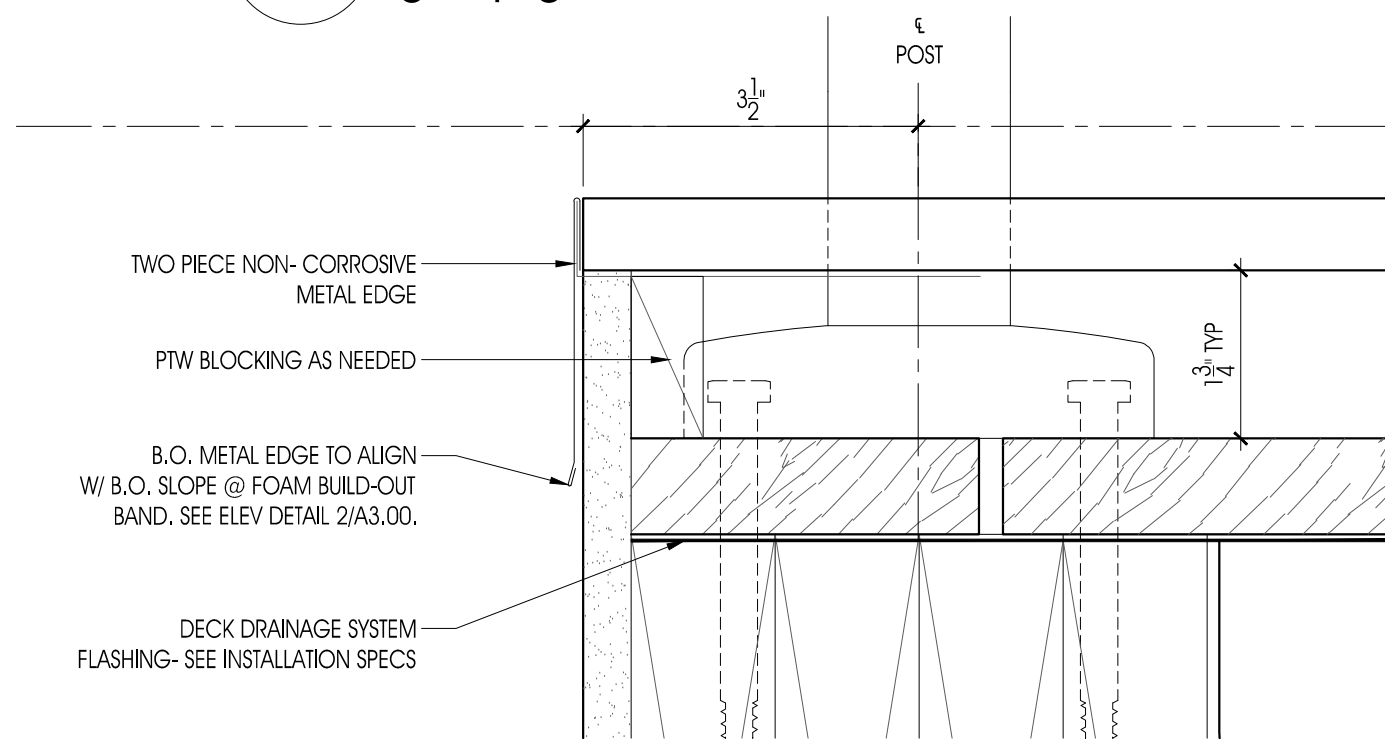
6 TYP DECK DETAIL
- 6" = 1'-0"



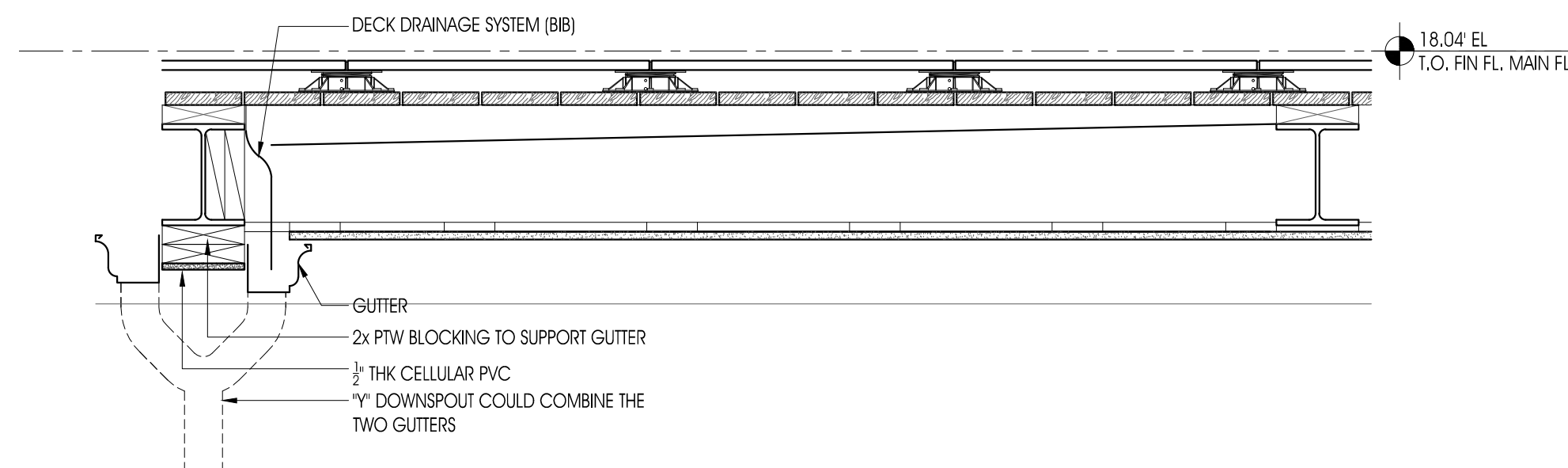
5 TRIM DETAIL
- 3" = 1'-0"



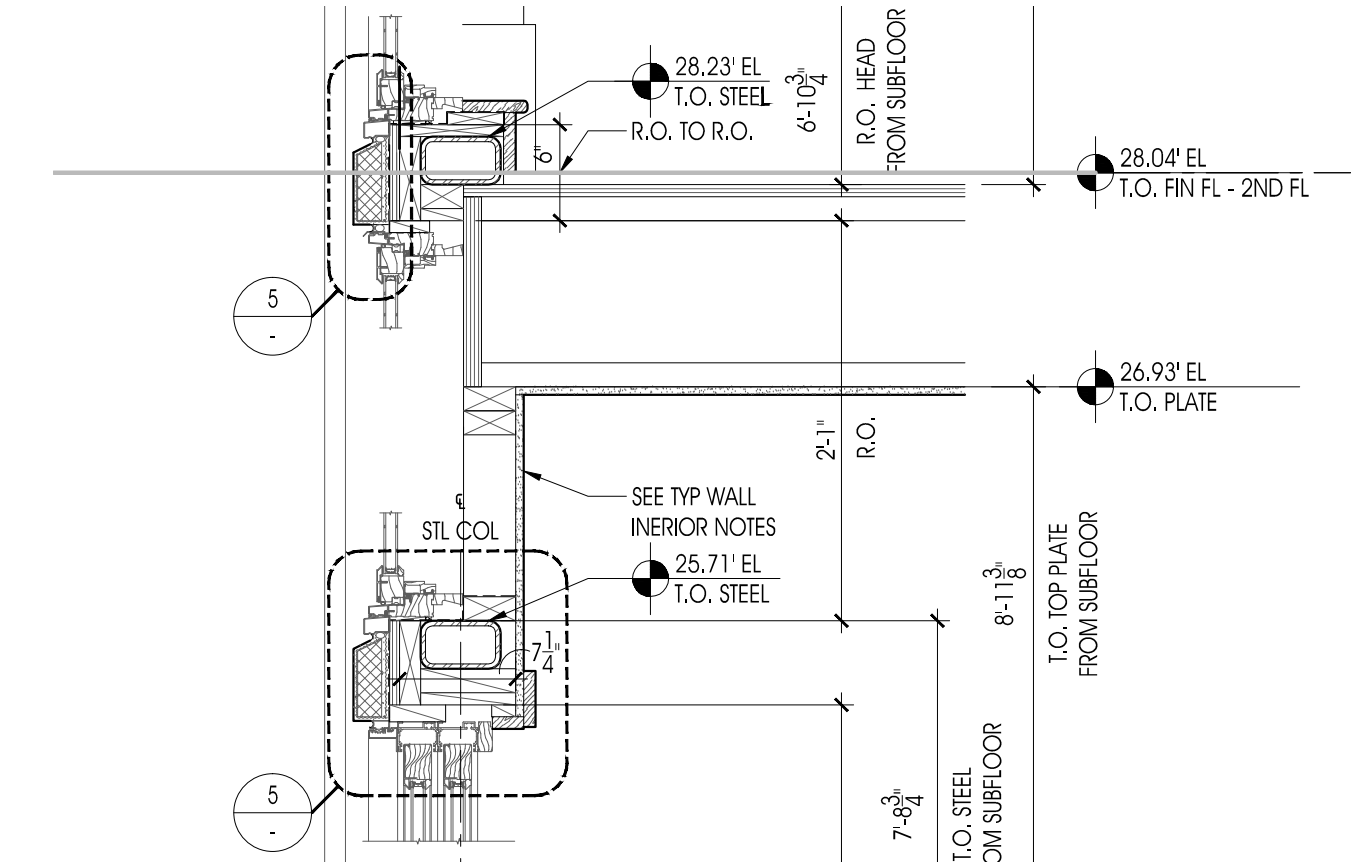
1 WALL SECTION @ DECK 1 (KITCHEN)
- 1" = 1'-0"



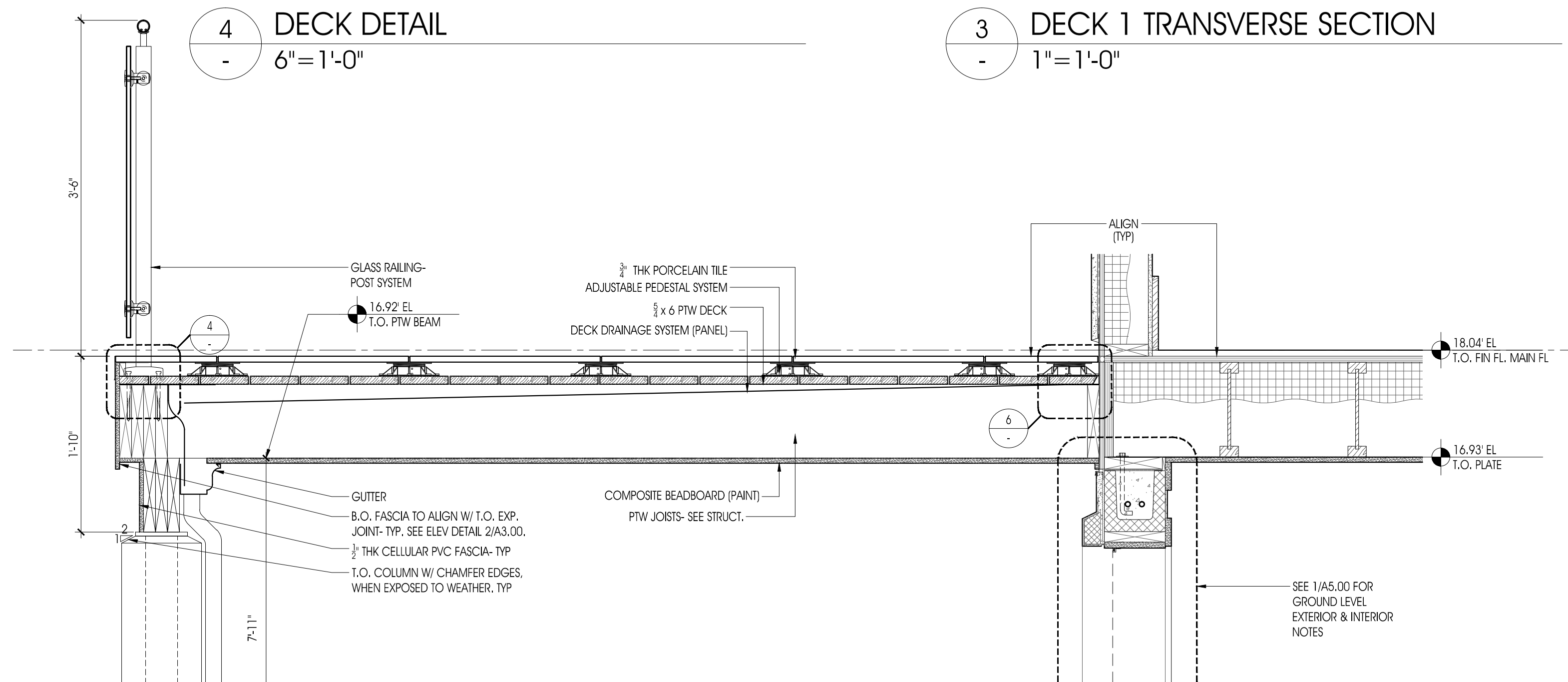
4 DECK DETAIL
- 6" = 1'-0"



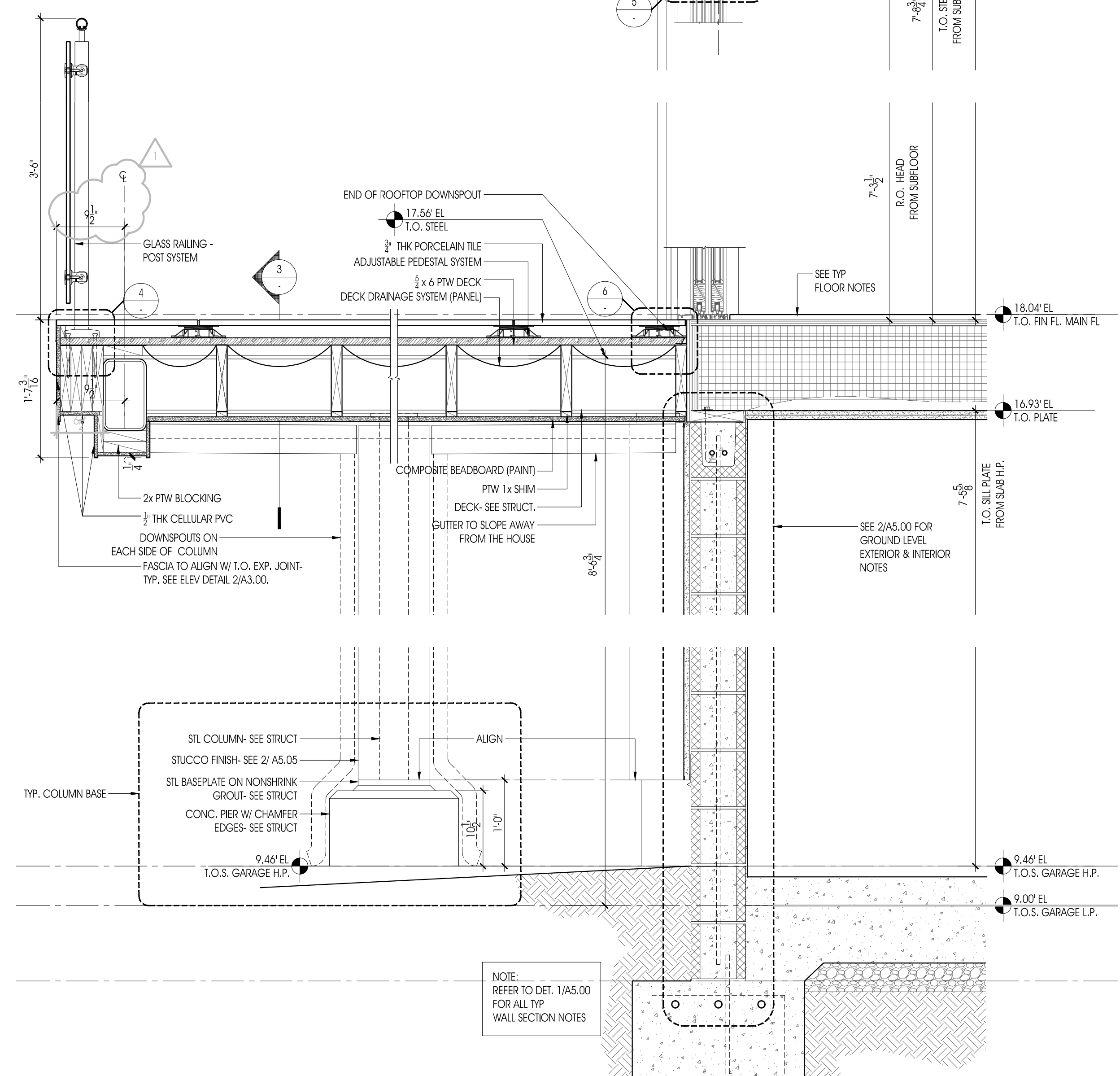
3 DECK 1 TRANSVERSE SECTION
- 1" = 1'-0"



2 WALL SECTION @ DECK 2
- 1" = 1'-0"



2 WALL SECTION @ DECK 2
- 1" = 1'-0"



1 WALL SECTION @ DECK 1 (KITCHEN)
- 1" = 1'-0"

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REVISIONS:

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PROJECT NUMBER
21507-00

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MEYER RESIDENCE

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MONMOUTH BEACH, NJ 07750

PHASE
BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE
DECK 1 & 2 WALL
SECTIONS & DETAILS

DATE
10/10/2016

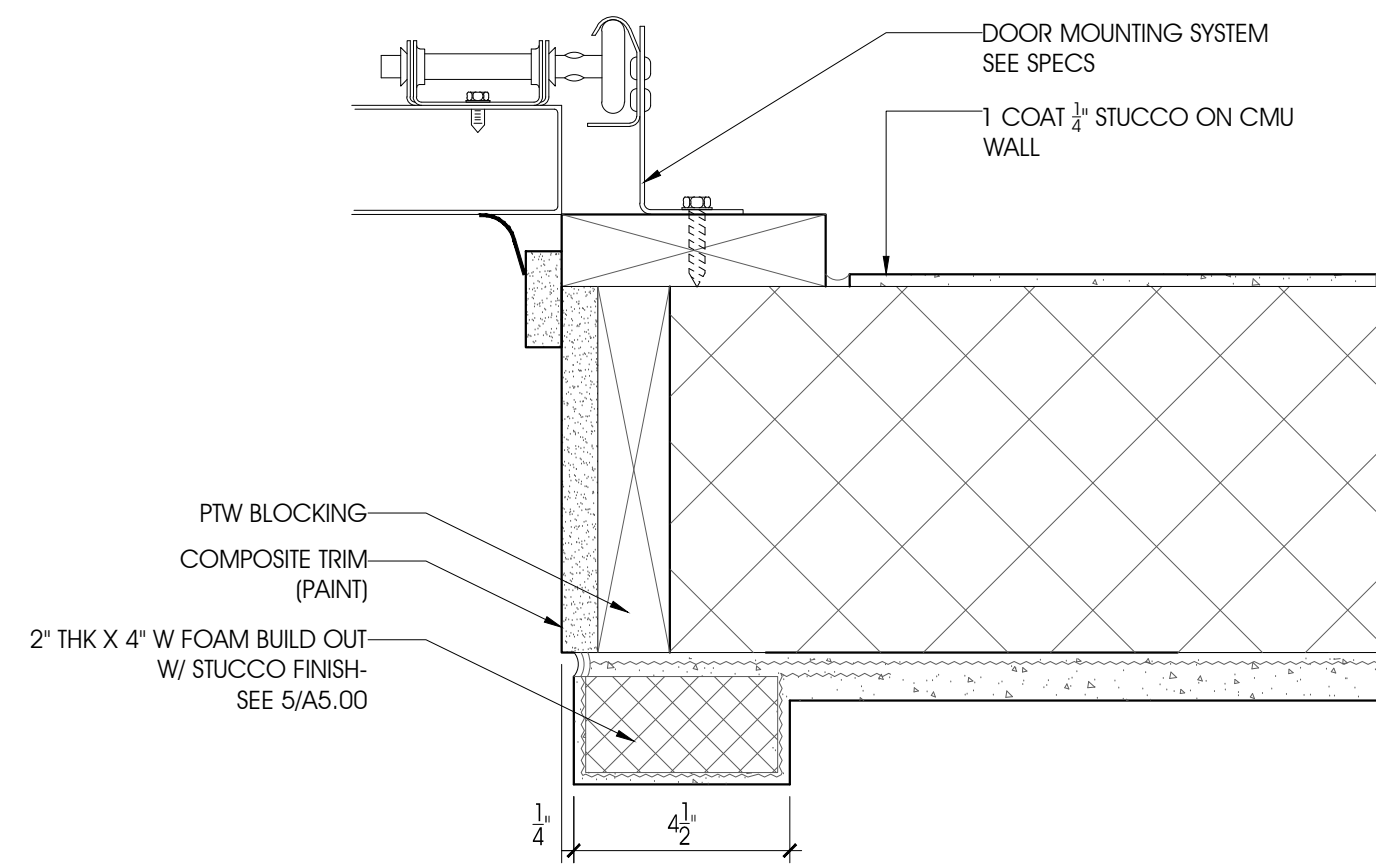
SCALE
AS NOTED

SHEET NUMBER

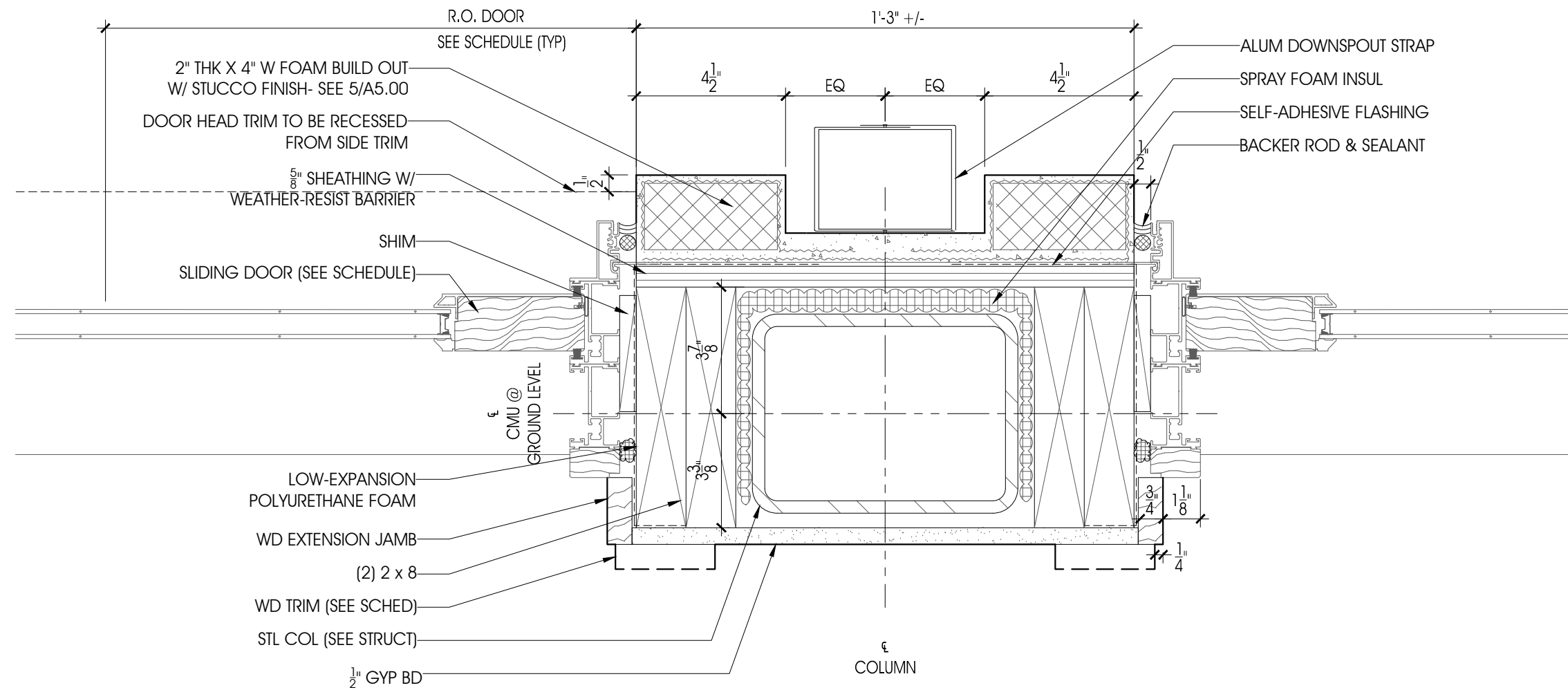
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0 1 2 FT

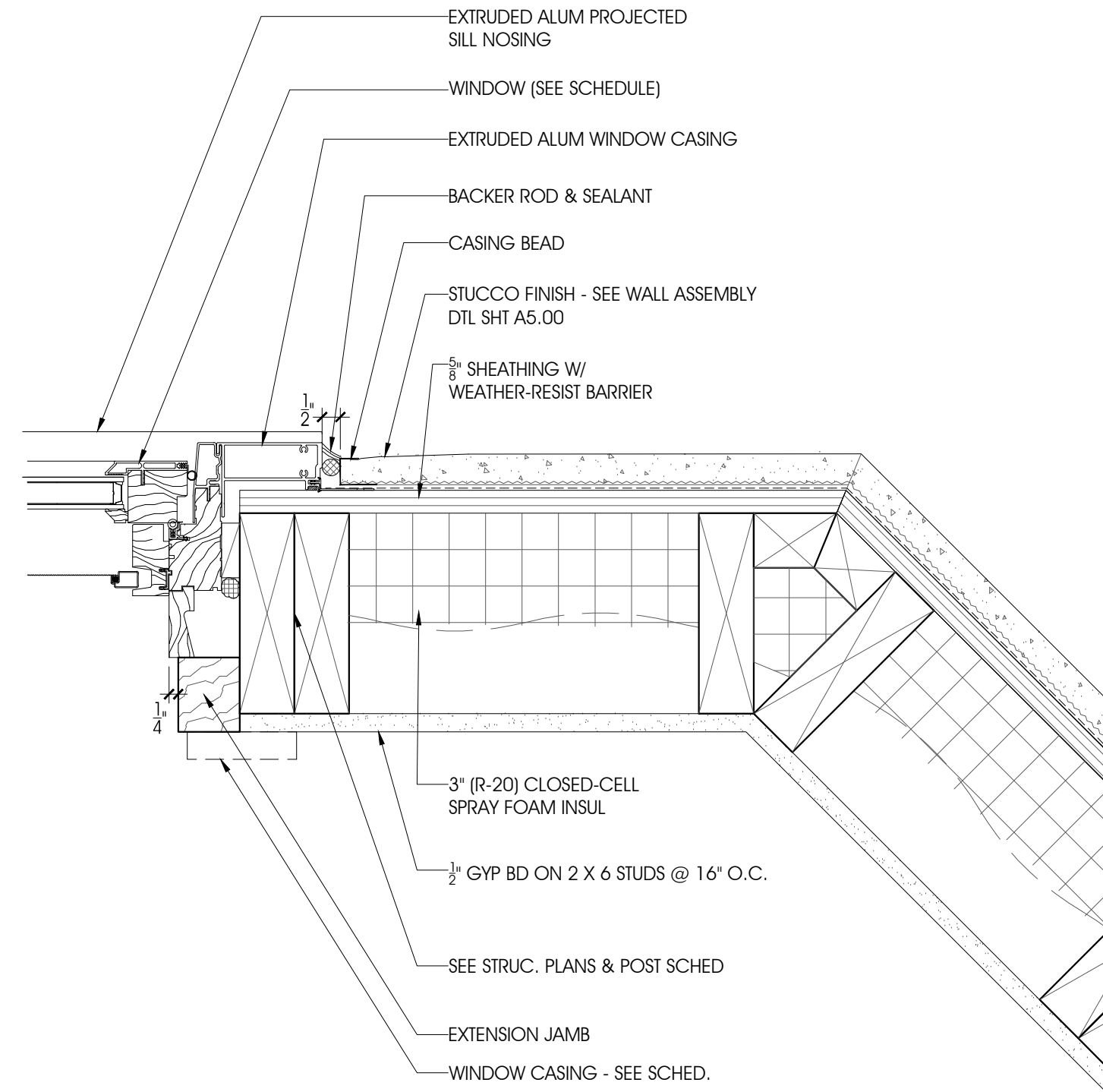




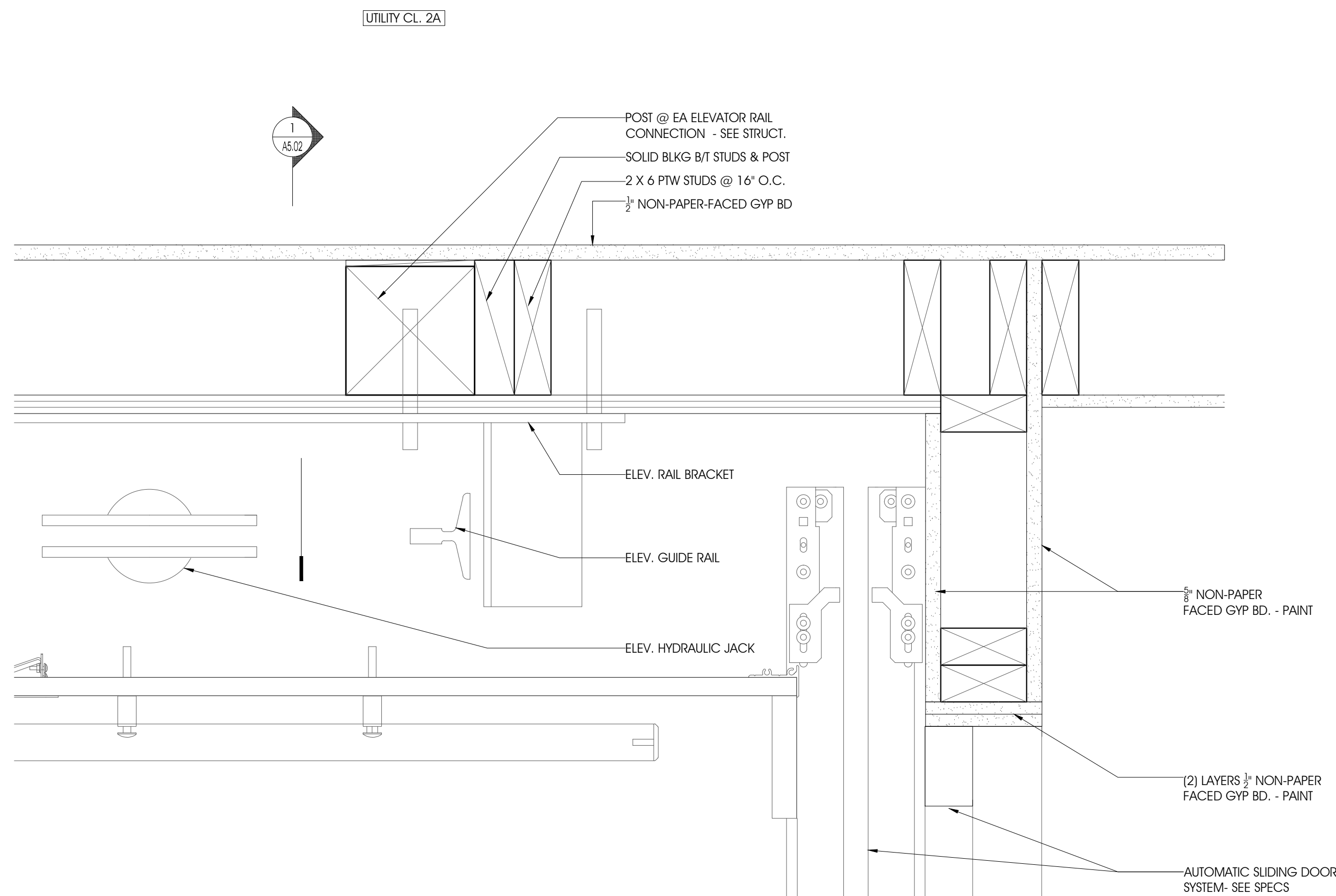
6 PLAN DTL @ GARAGE DR JAMB
3" = 1'-0"



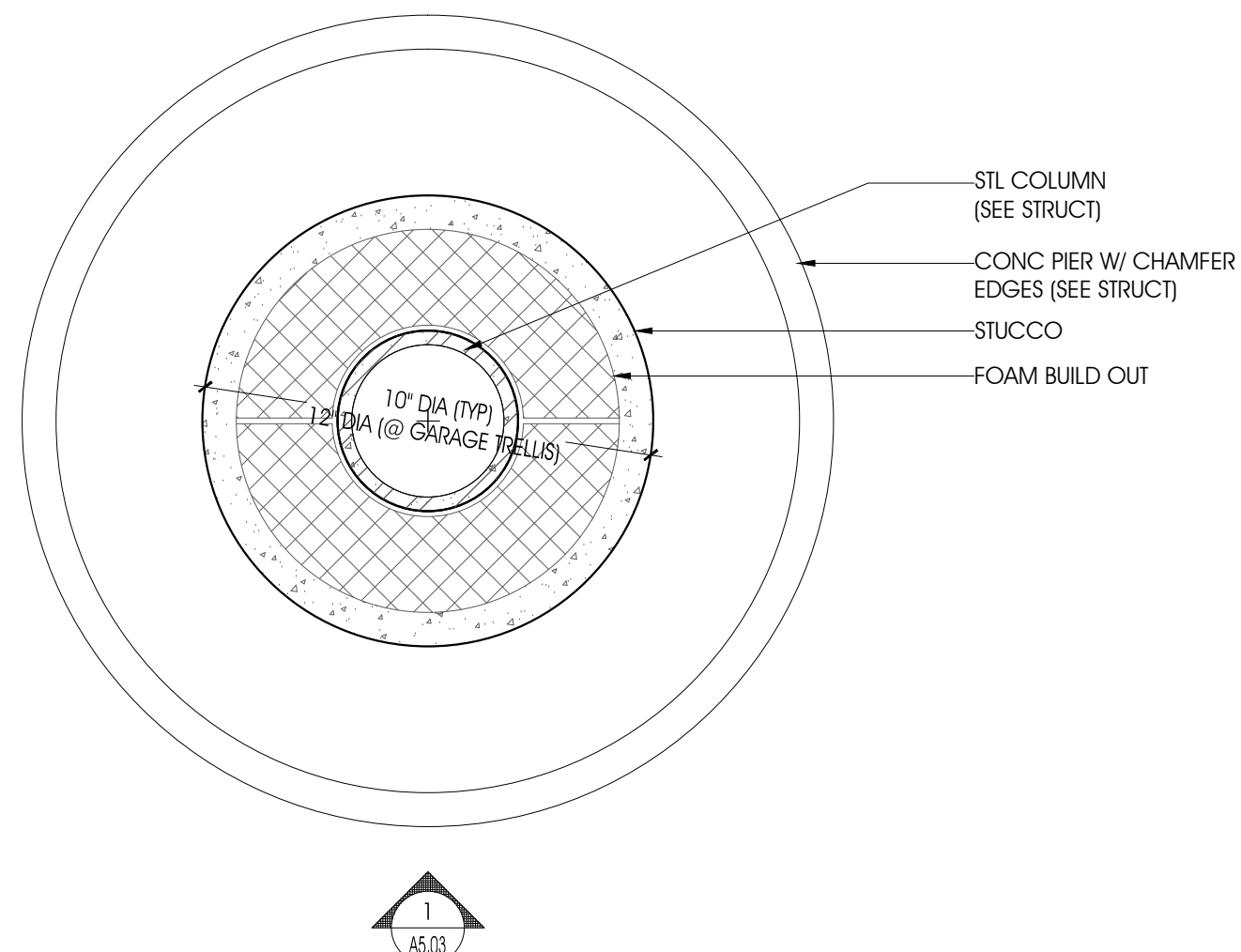
5 PLAN DTL @ MULTISLIDER
3" = 1'-0"



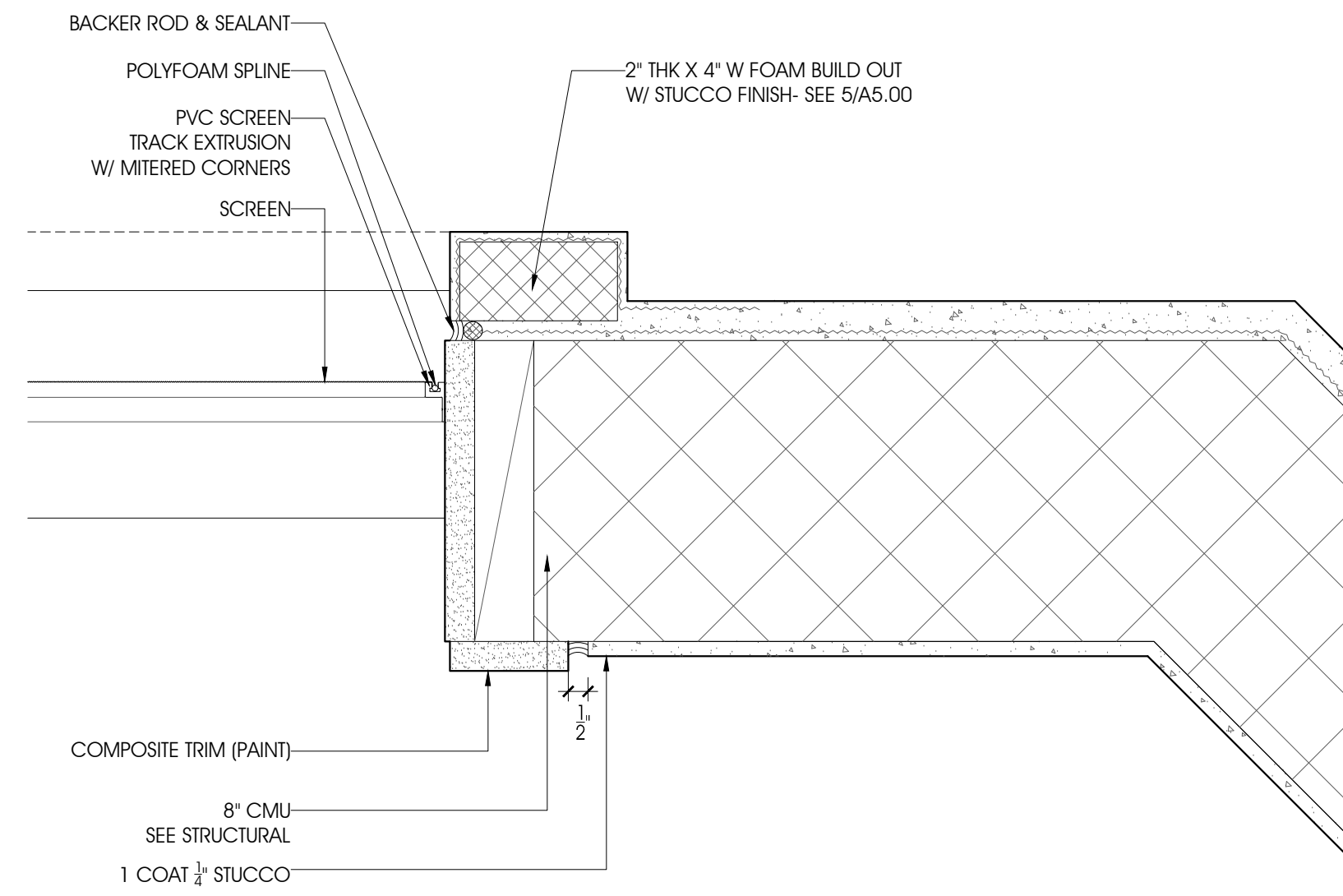
4 PLAN DTL @ FAMILY RM
3" = 1'-0"



3 ELEV. PLAN DTL @ GROUND
3" = 1'-0"



2 TYP DECK COLUMN PL DTL
3" = 1'-0"



1 PLAN DTL @ SCREENED PORCH
3" = 1'-0"



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DATE: NO. DESCRIPTION:

PROJECT NUMBER

21507-00

PROJECT NAME

MEYER RESIDENCE

1 LCR1 ROAD
MONMOUTH BEACH, NJ 07750

PHASE

BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE

DETAILS

DATE

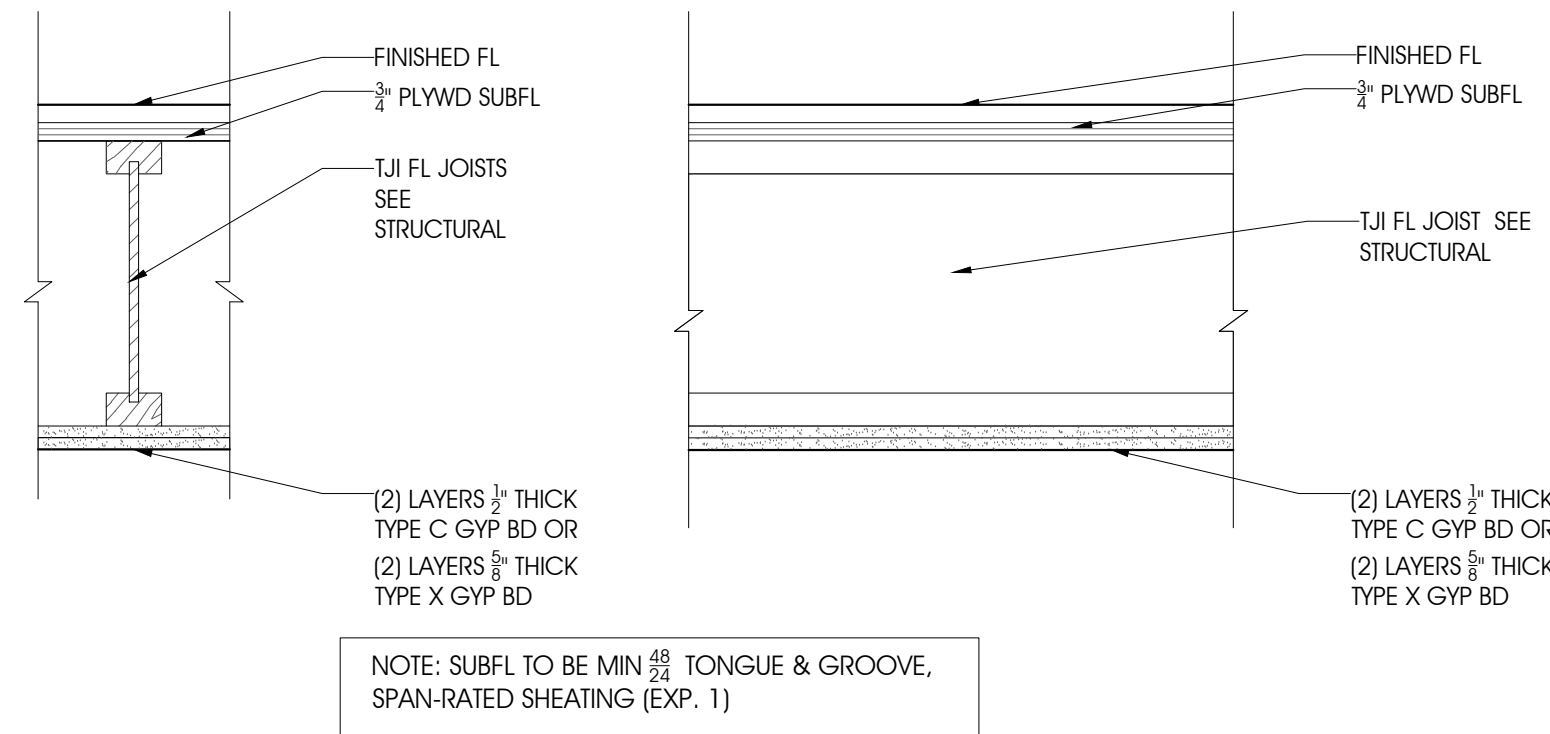
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SCALE

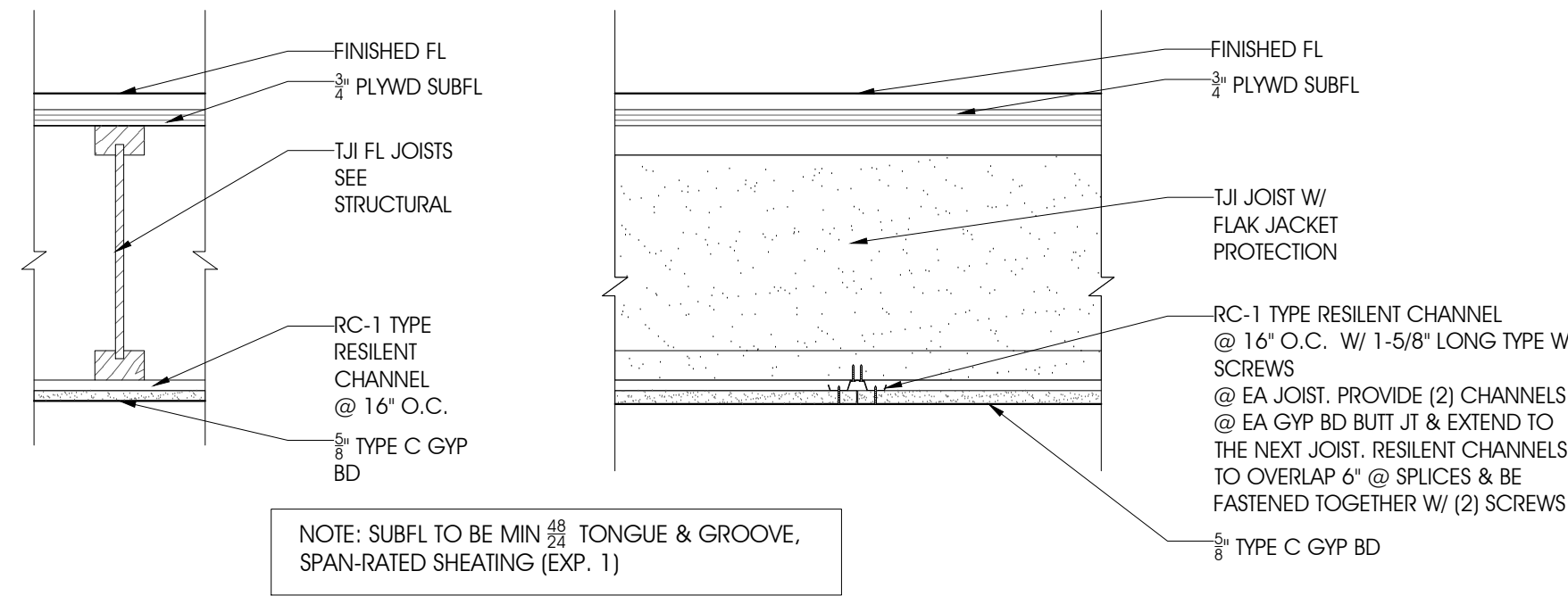
3" = 1'-0"

SHEET NUMBER

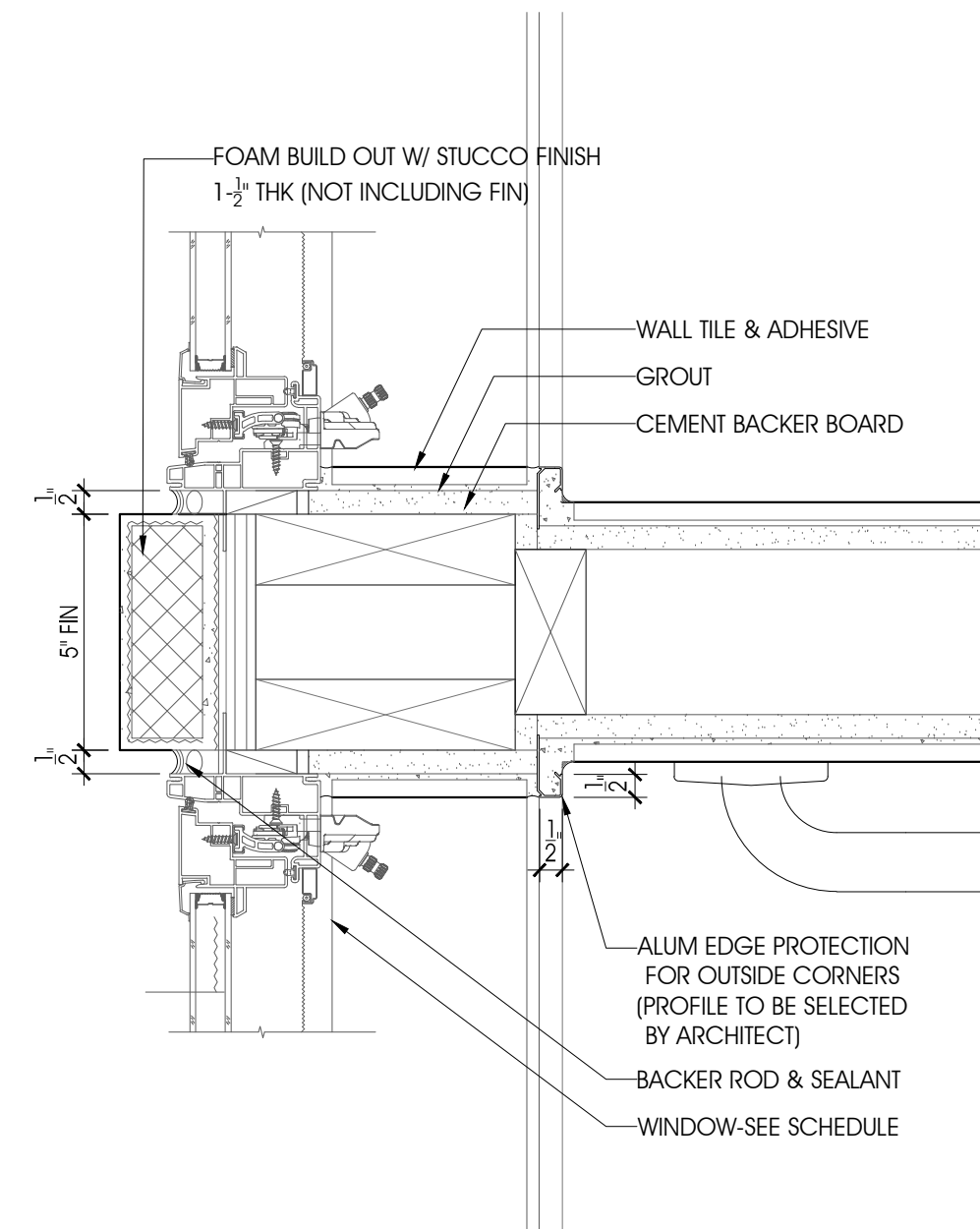
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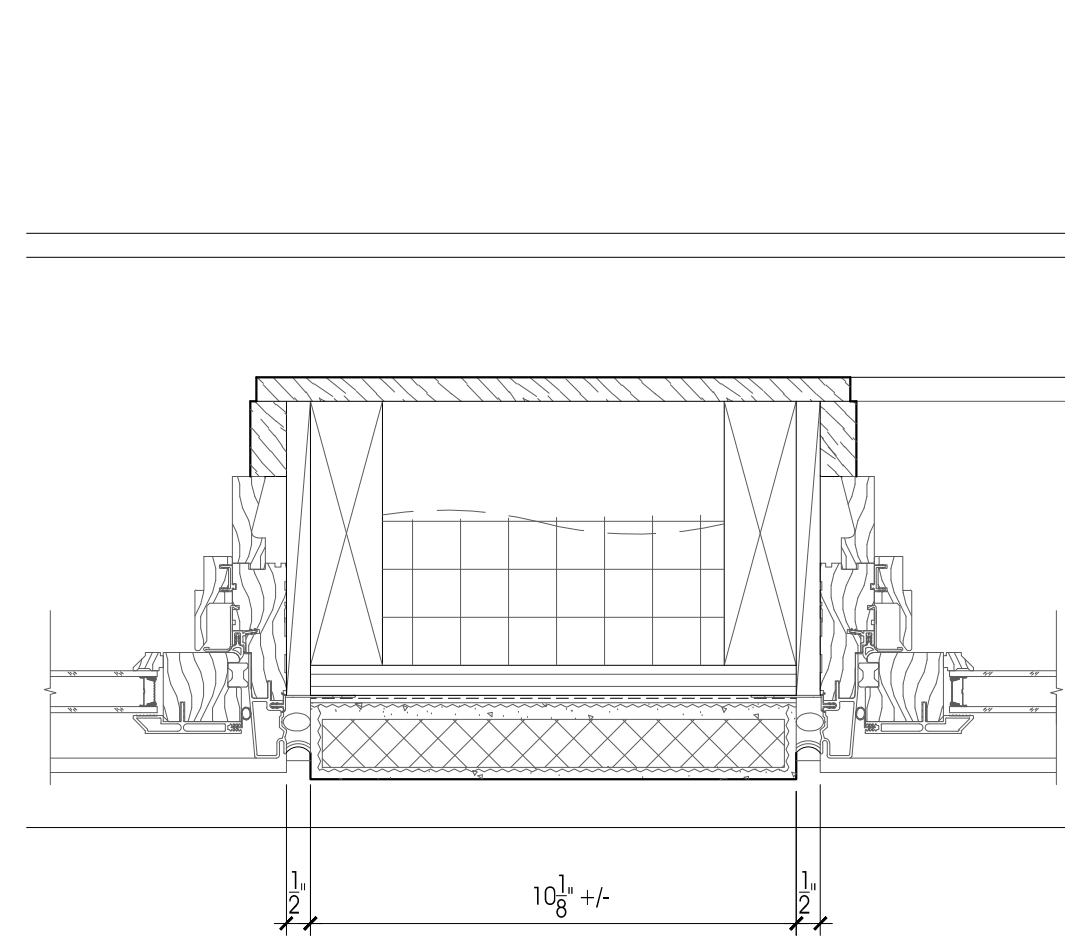
4B ALT. B: 1-HR FIRE-RATED FL-CLG ASSEMBLY
- 1'-1/2" = 1'-0"



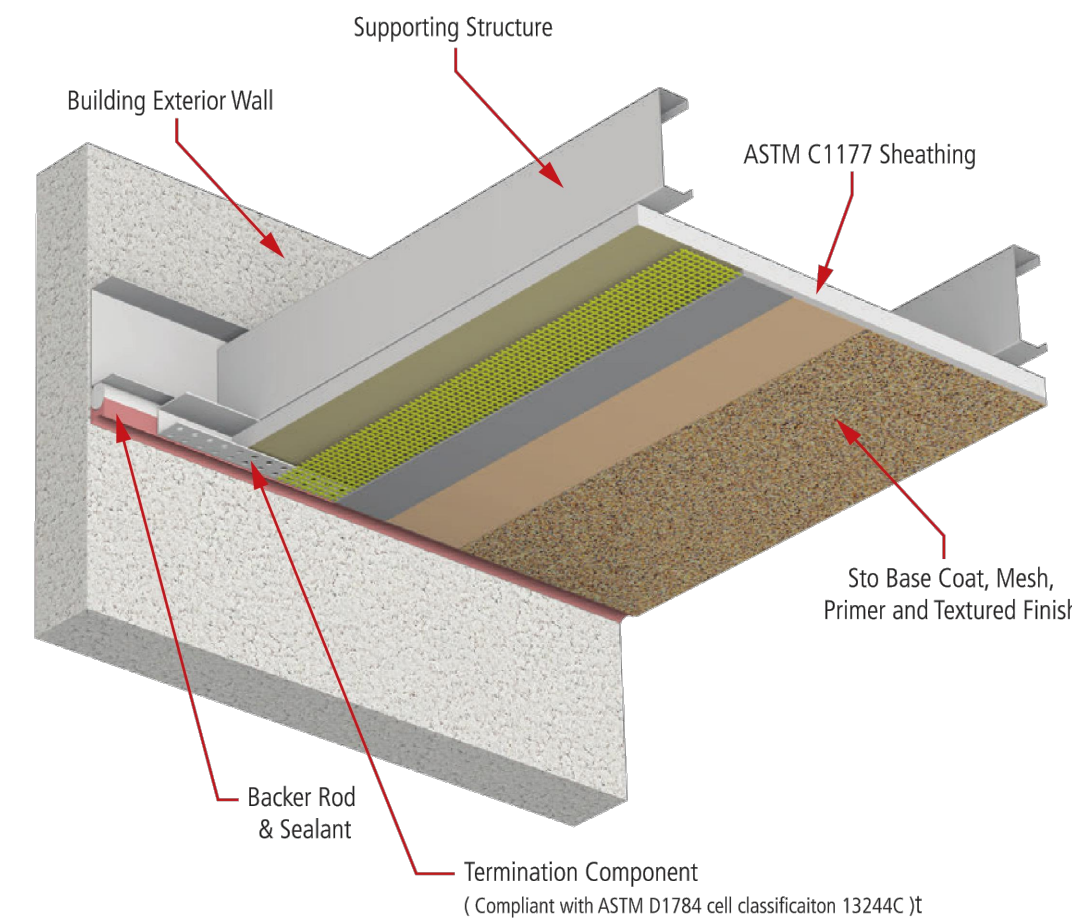
4A ALT. A: 1-HR FIRE-RATED FL-CLG ASSEMBLY (W/ FLAK JACKET)
- 1'-1/2" = 1'-0"



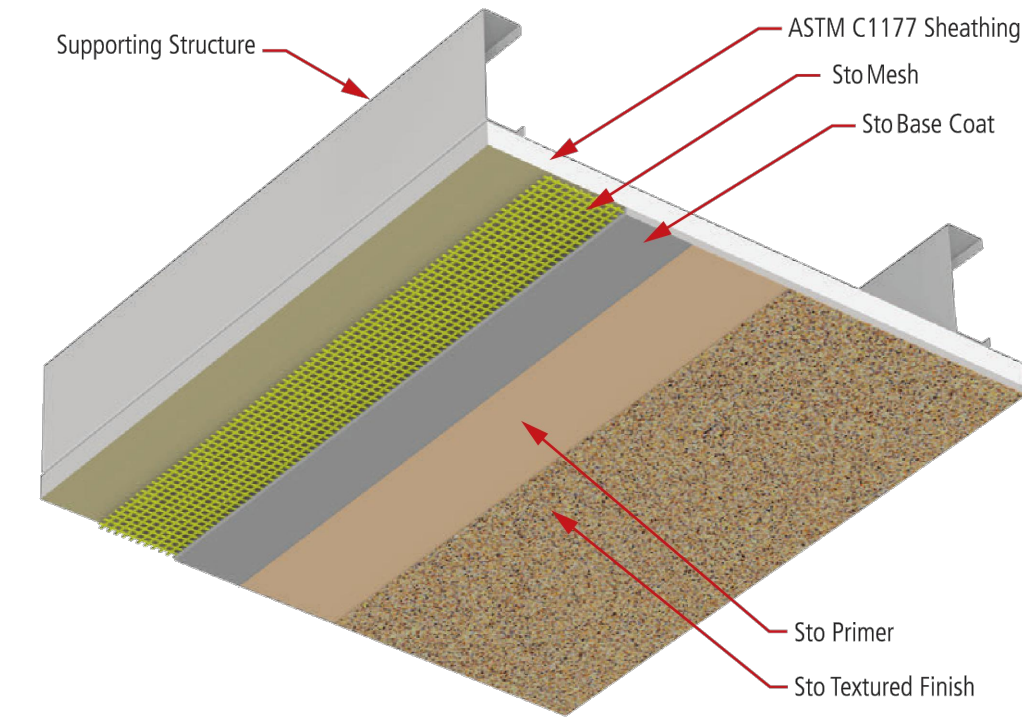
3 PLAN - BATH 4&5 WINDOWS
- 3" = 1'-0"



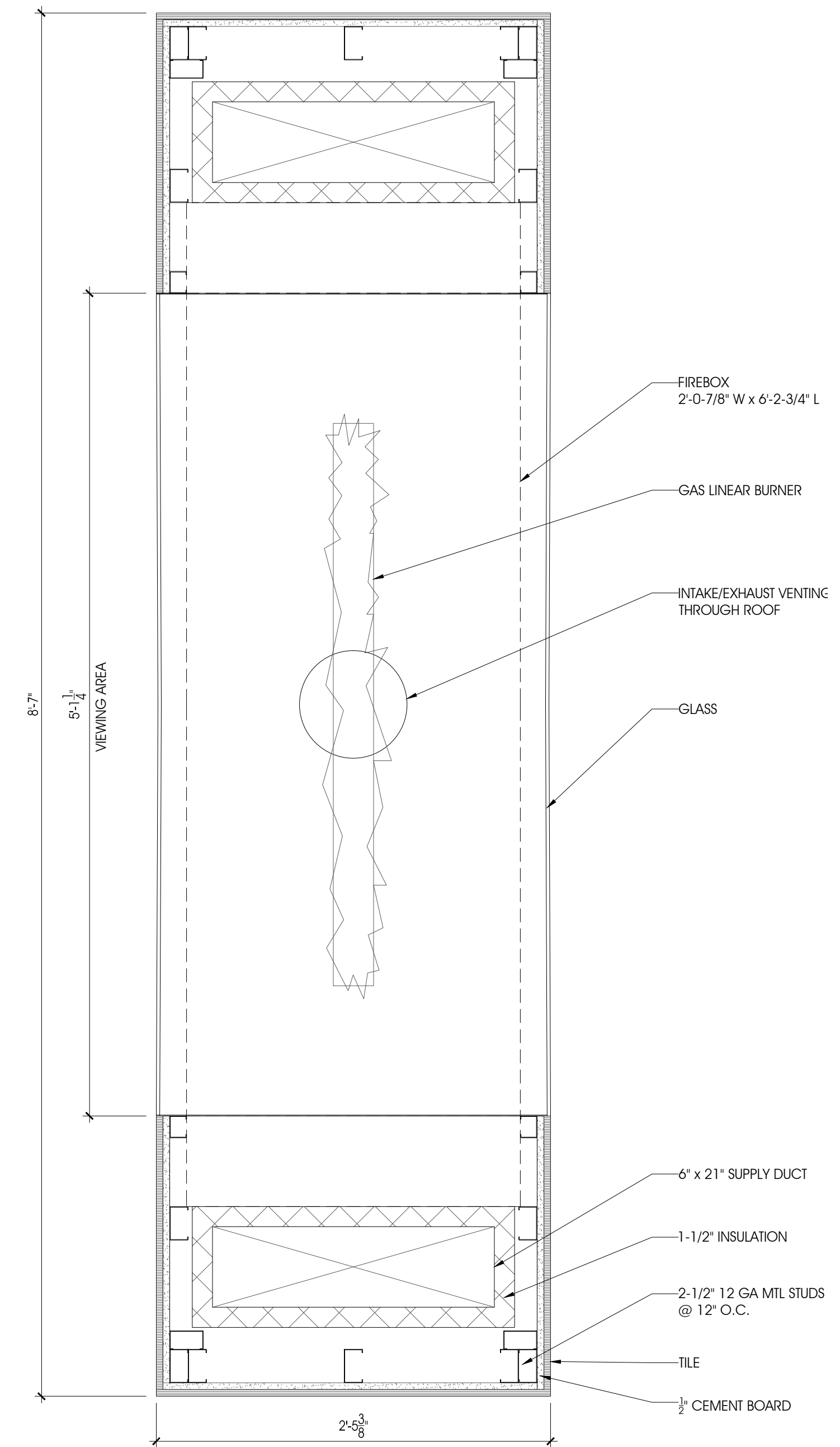
2 PLAN - CLERESTORY WINDOWS
- 3" = 1'-0"



6 TYP STUCCO SOFFIT @ TERMINATION
- N.T.S.



5 TYP STUCCO SOFFIT
- N.T.S.

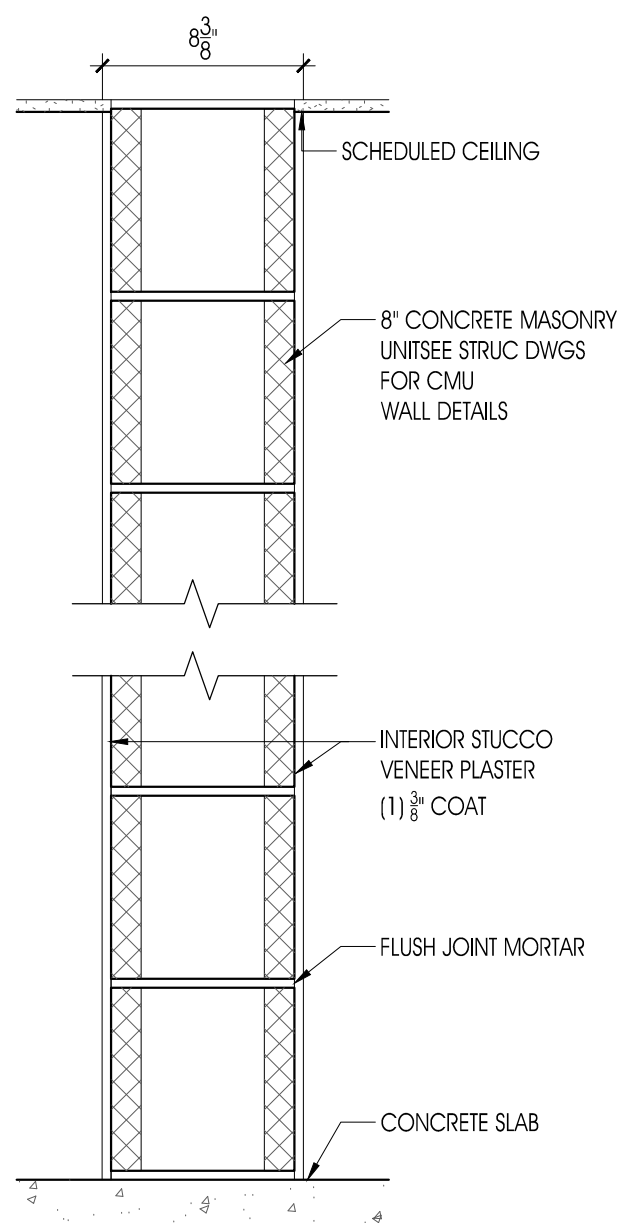


1 PLAN - GAS FIREPLACE
- 1'-1/2" = 1'-0"

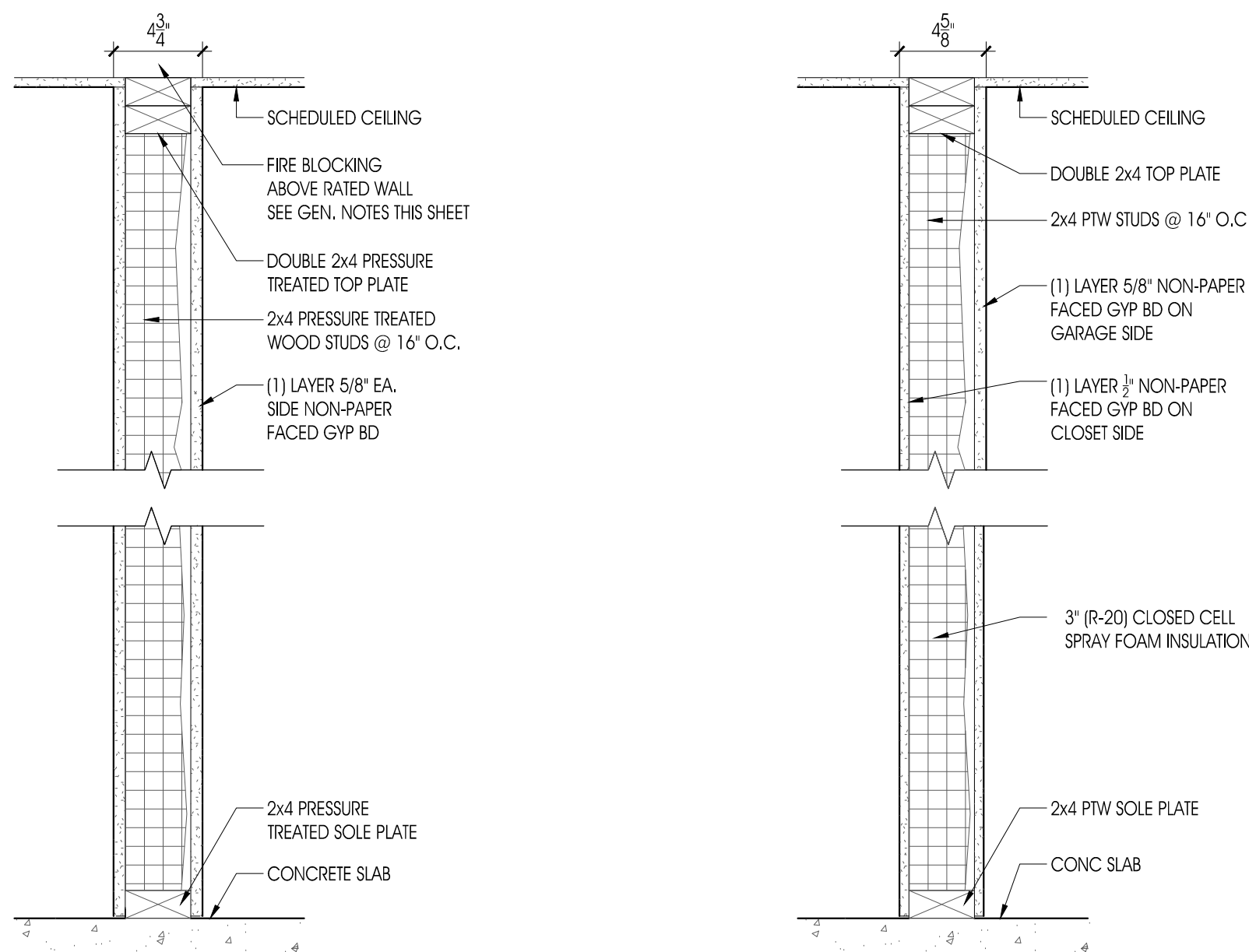


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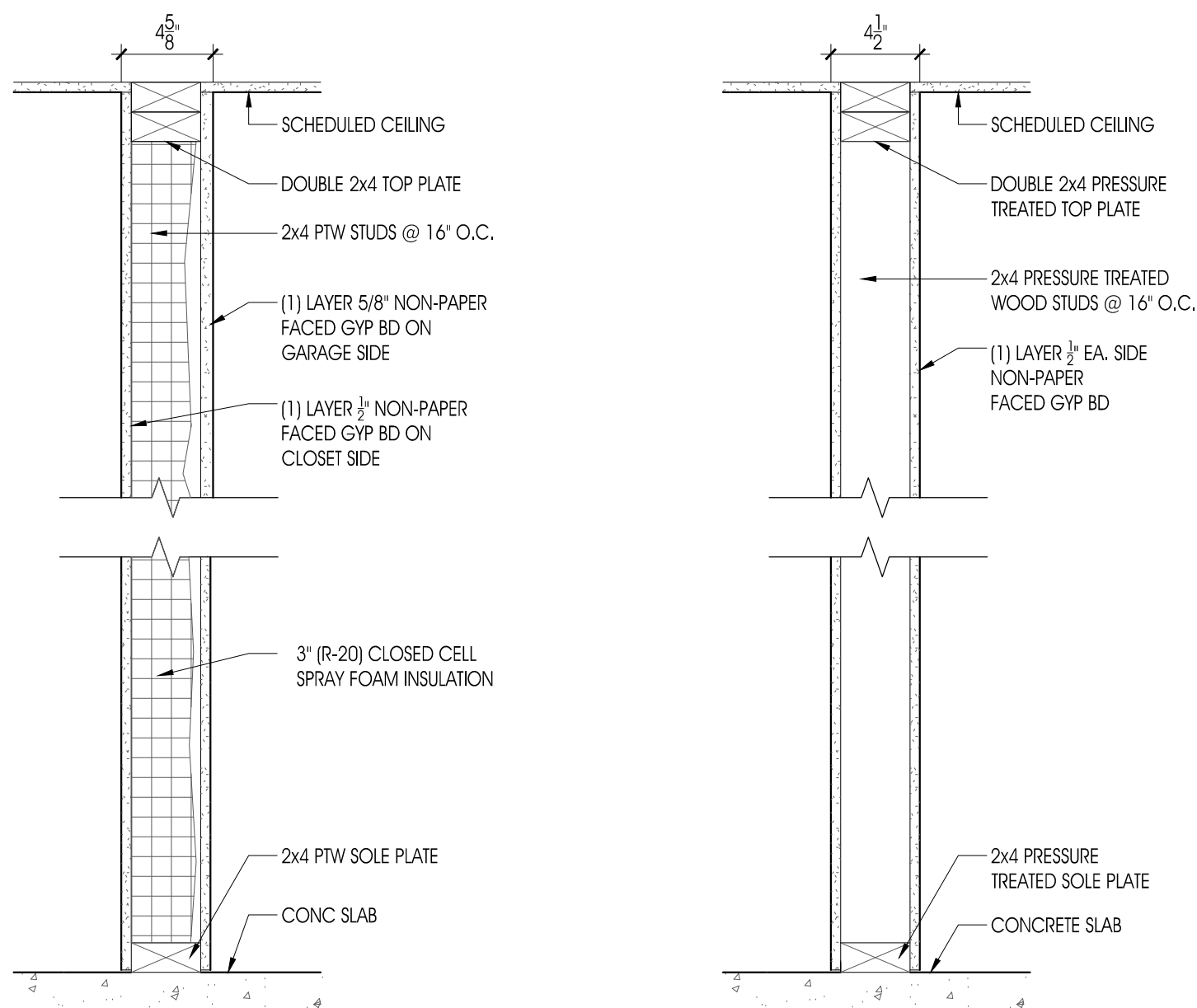
REVISIONS:		
DATE:	NO.	DESCRIPTION:
PROJECT NUMBER 21507-00		
PROJECT NAME MEYER RESIDENCE 1 LORI ROAD MONMOUTH BEACH, NJ 07750		
PHASE BLDG PERMIT & CONSTRUCTION		
SEAL		
DRAWING TITLE DETAILS		
DATE 10/10/2016	SCALE AS NOTED	
SHEET NUMBER A5.06		



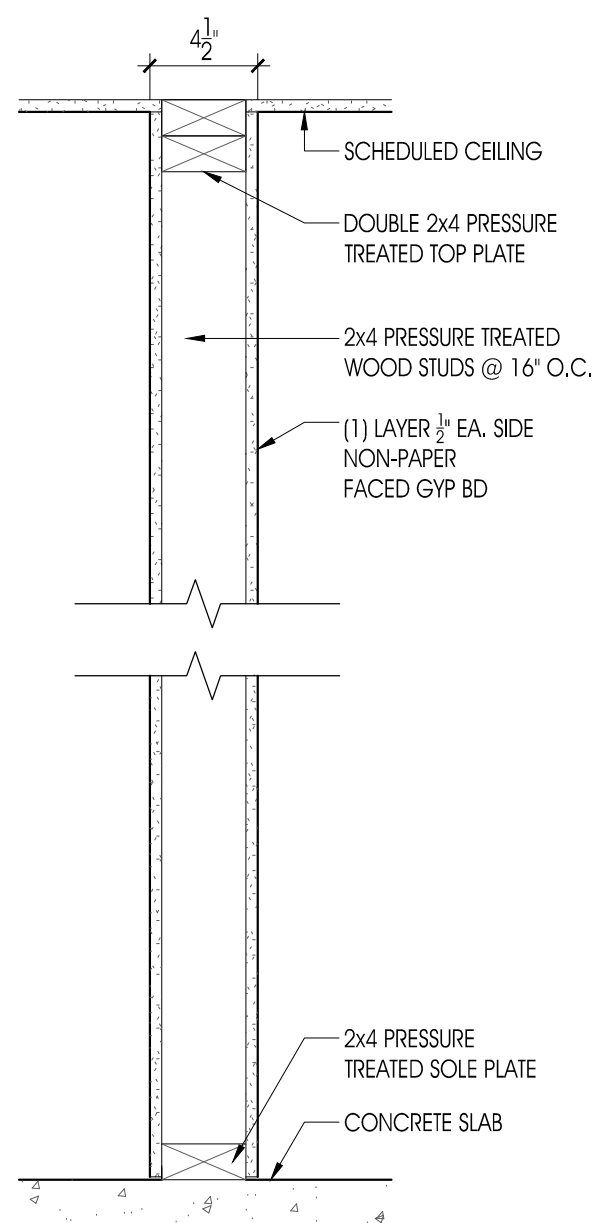
19 PARTITION TYPE 6
1-1/2"=1'-0"



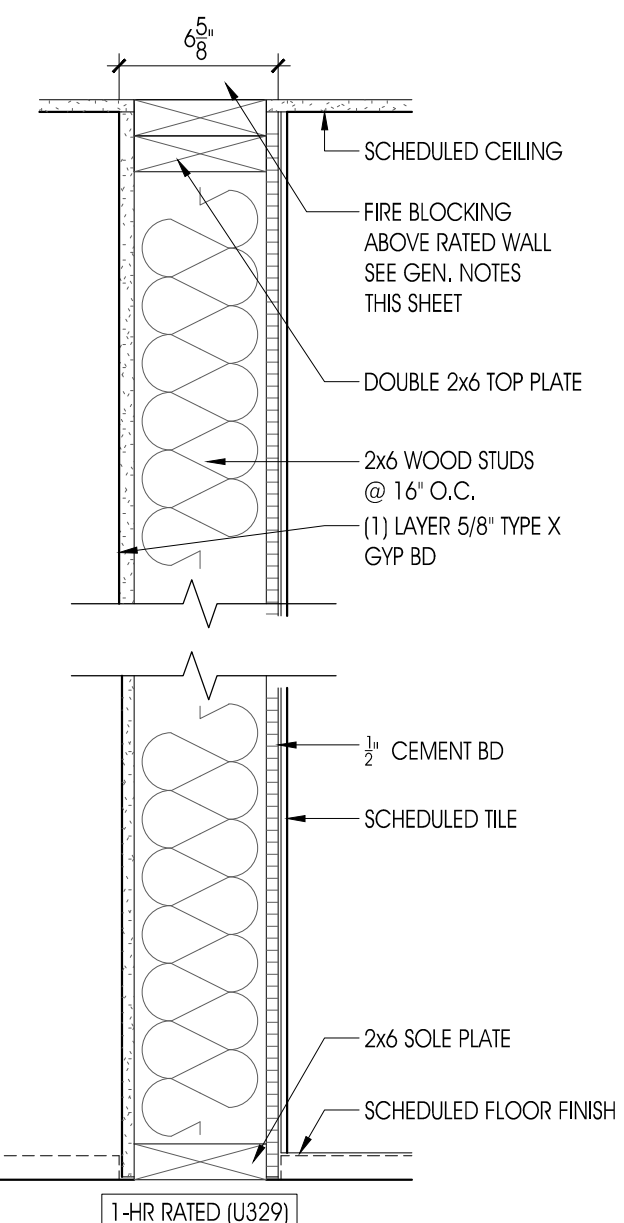
18 PARTITION TYPE 5-X
1-1/2"=1'-0"



17 PARTITION TYPE 5A
1-1/2"=1'-0"



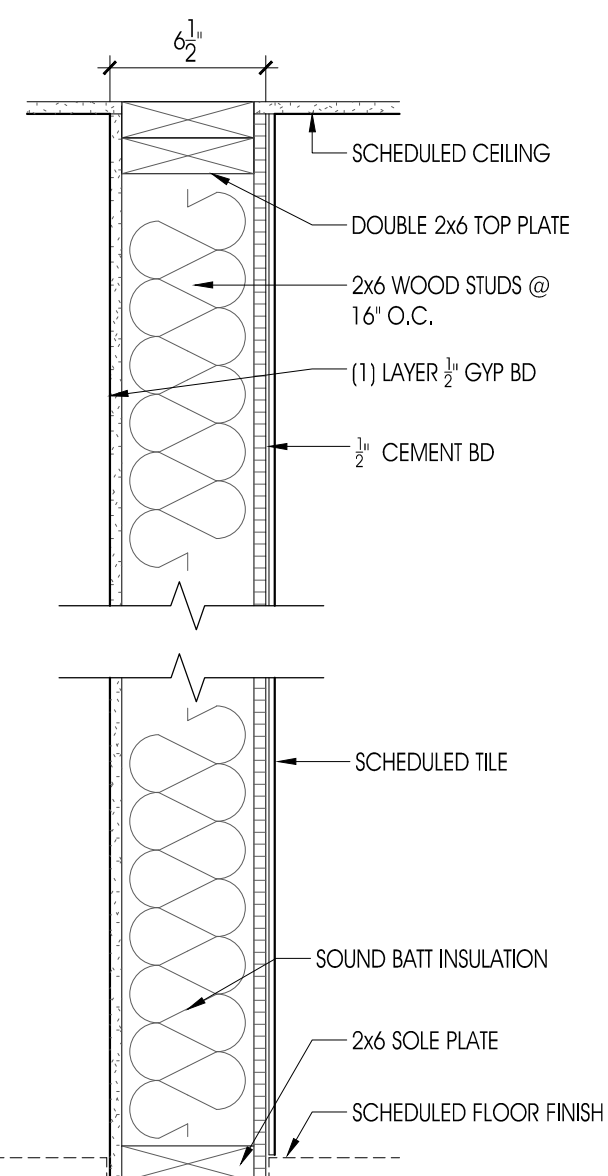
16 PARTITION TYPE 5
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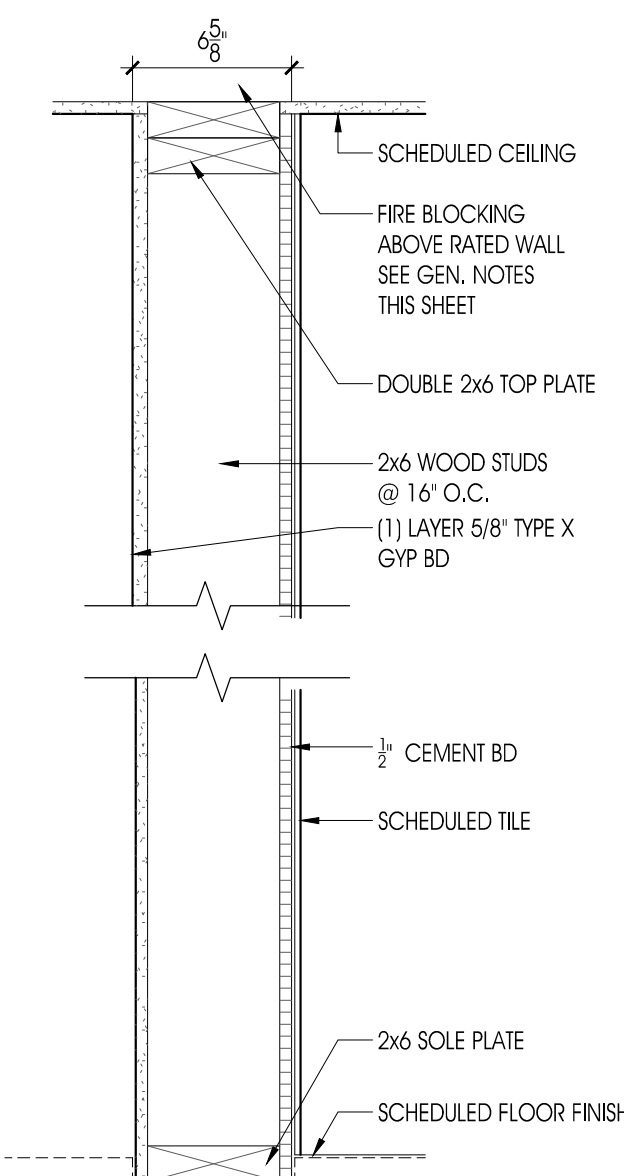
15 PARTITION TYPE 4A-X
1-1/2"=1'-0"

- GENERAL NOTES
- FIRE BLOCKS IN FLOOR-CEILING ASSEMBLY ABOVE RATED WALL TO BE EITHER:
 - 2 X NOMINAL LUMBER
 - 1 X NOMINAL LUMBER W/ BROKEN LAP JOINTS
 - 1/2" THICK WD STRUCTURAL PANEL W/ JOINTS BACKED BY 1/2" WD STRUCTURAL PANEL
 - (1) THICKNESS OF 3/4" PARTICLEBOARD W/ JOINTS BACKED BY 3/4" GYP BD
 - 3/4" GYP BD
 - 3/4" CEMENT-BASED MILLBOARD
 - BATS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE W/ ASTM E119 OR UL 263 FOR THE SPECIFIC APPLICATION
 - NOTATION AFTER PARTITION TYPE INDICATES MOISTURE-RESIST GYP BD
"MR" INDICATES SIDE OF PARTITION TO RECEIVE MOISTURE-RESIST GYP BD
 - ALL LOAD-BEARING WALLS AND FLOOR/CEILING ASSEMBLIES TO HAVE 1-HOUR FIRE RESISTANCE RATING.

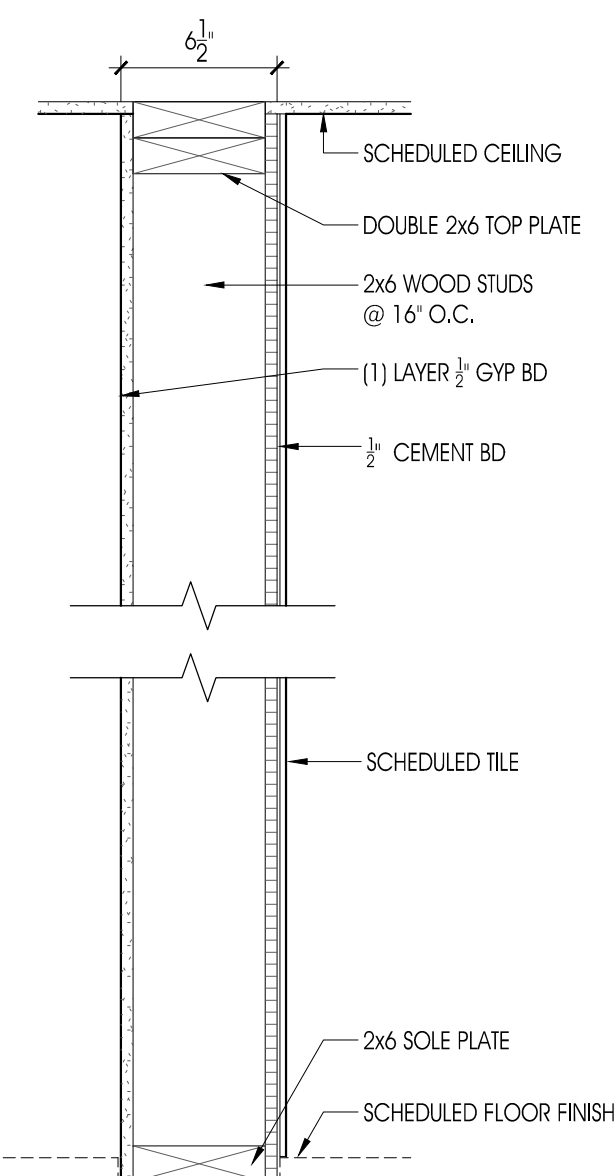
DESIGN ARCHITECT
**MICHAEL GRAVES
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INSITE ENGINEERING, LLC
1913 ATLANTIC AVE, SUITE F4
WALL, NJ 07719
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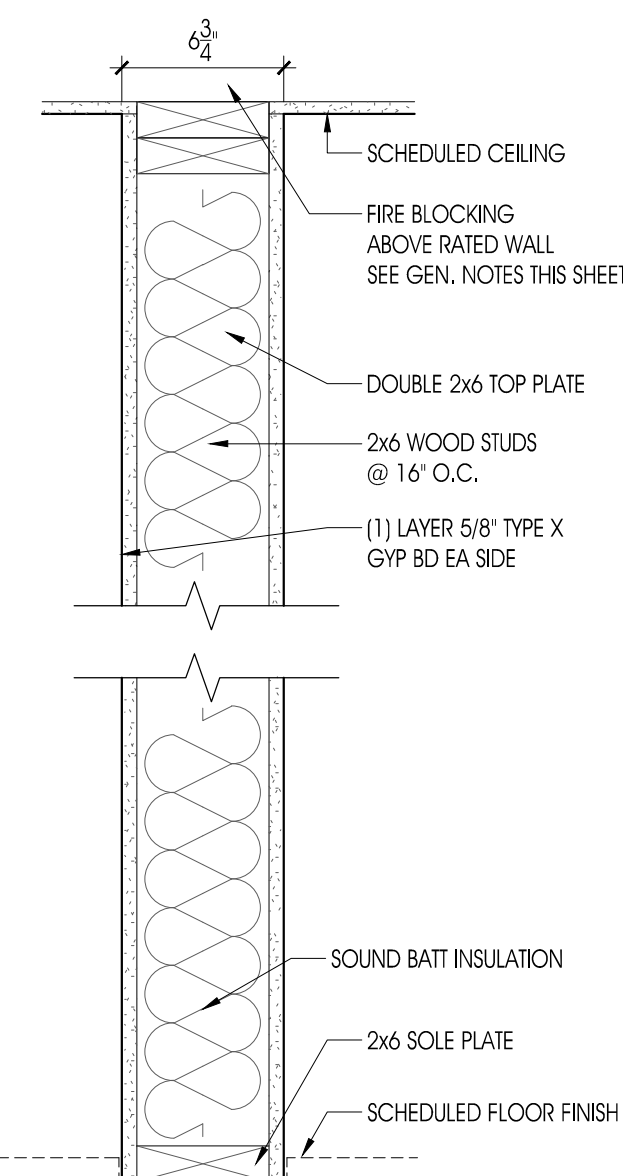
14 PARTITION TYPE 4A
1-1/2"=1'-0"



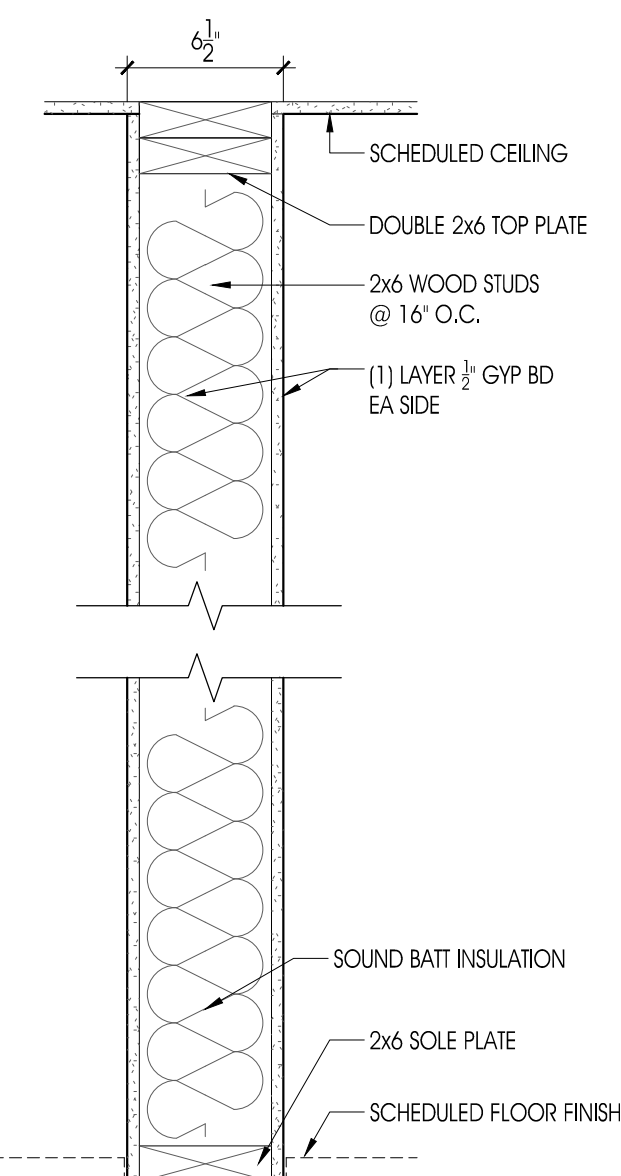
13 PARTITION TYPE 4-X
1-1/2"=1'-0"



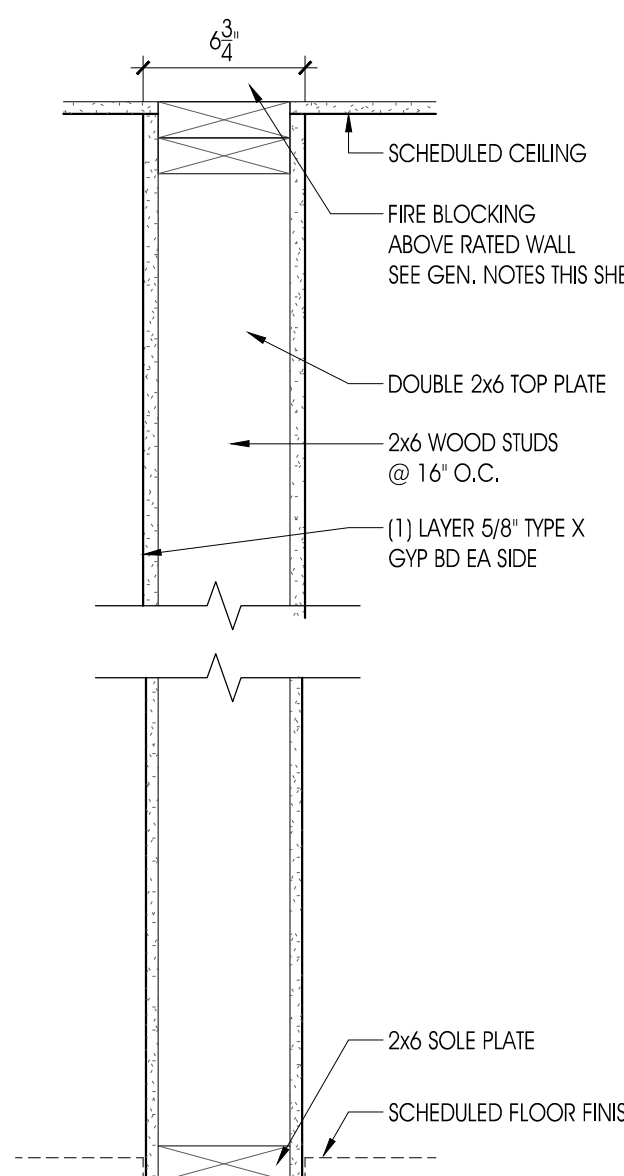
12 PARTITION TYPE 4
1-1/2"=1'-0"



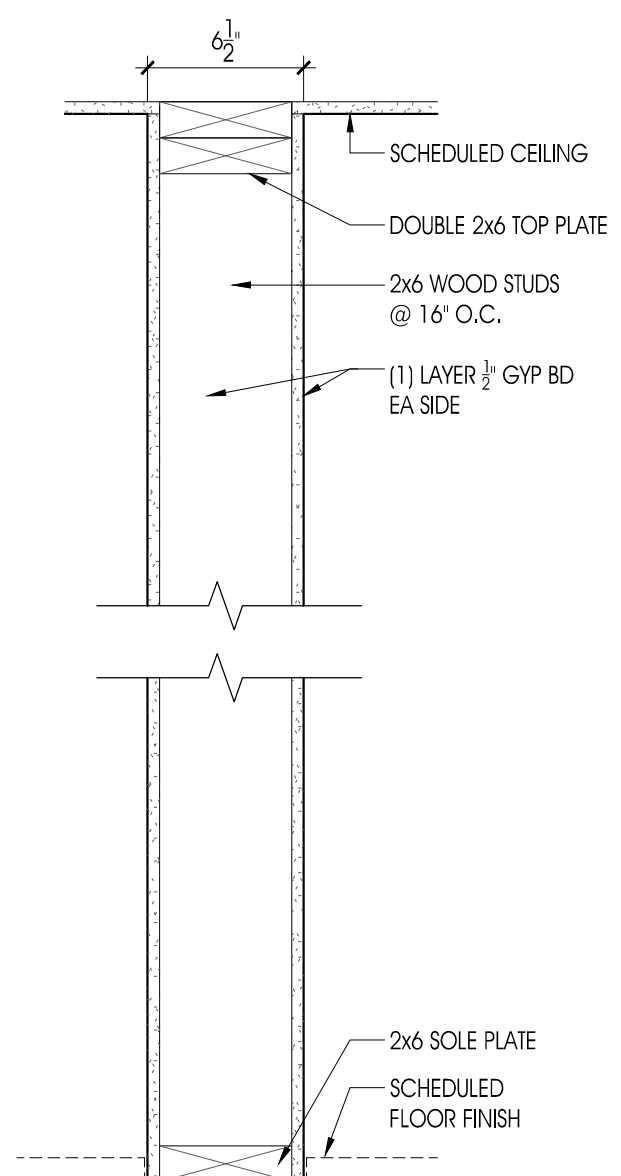
11 PARTITION TYPE 3A-X
1-1/2"=1'-0"



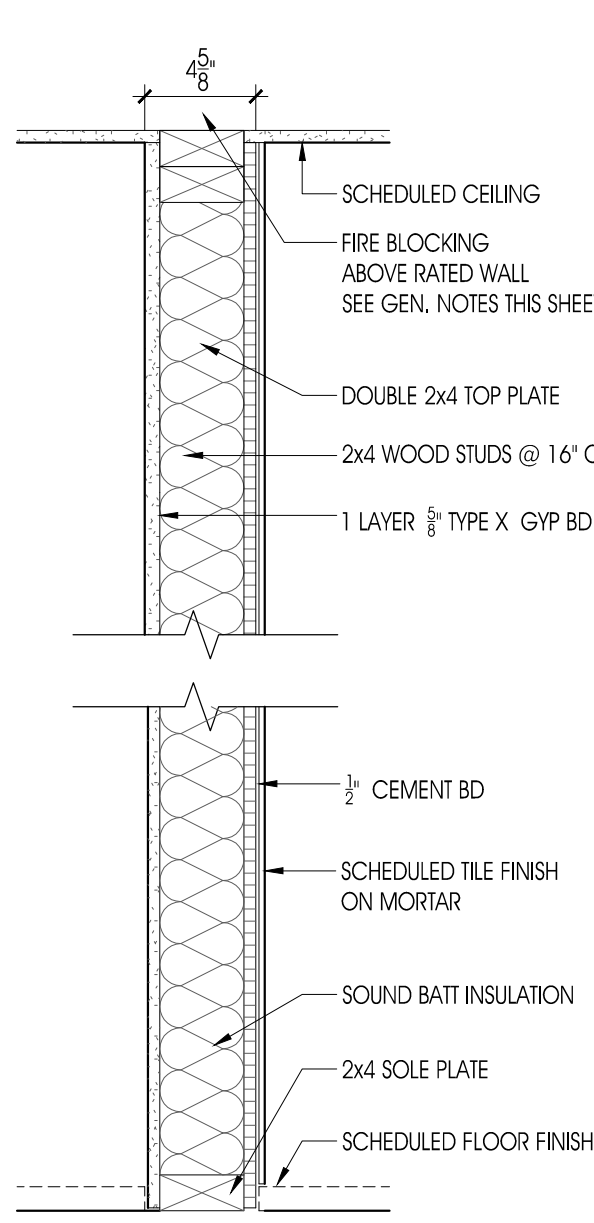
10 PARTITION TYPE 3A
1-1/2"=1'-0"



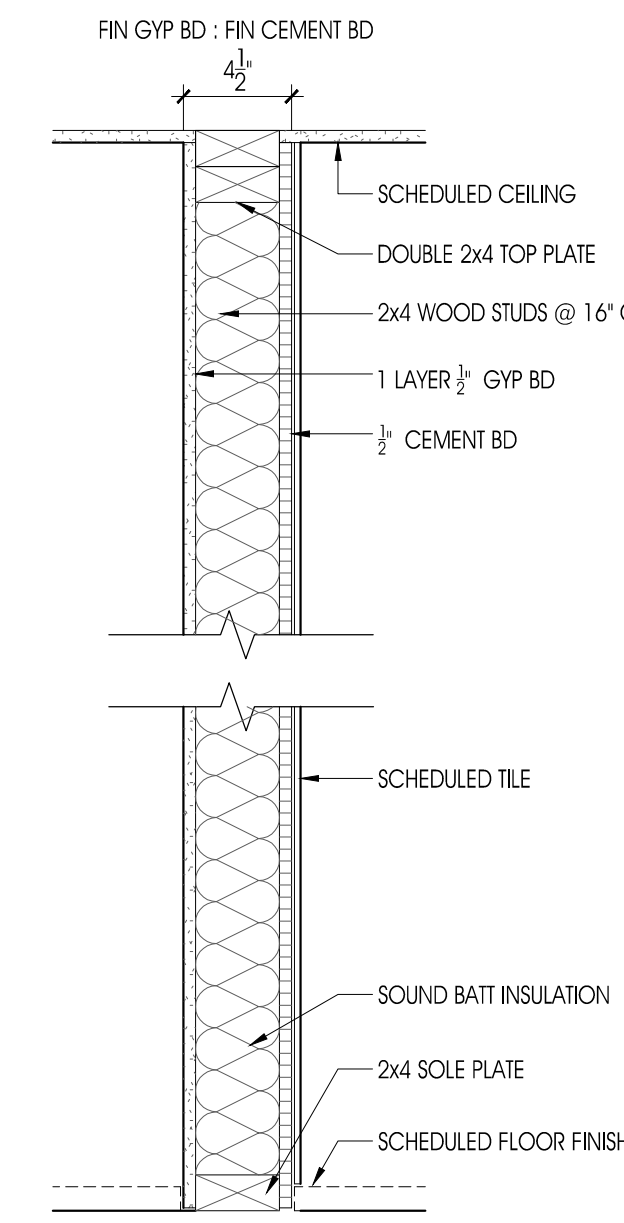
9 PARTITION TYPE 3-X
1-1/2"=1'-0"



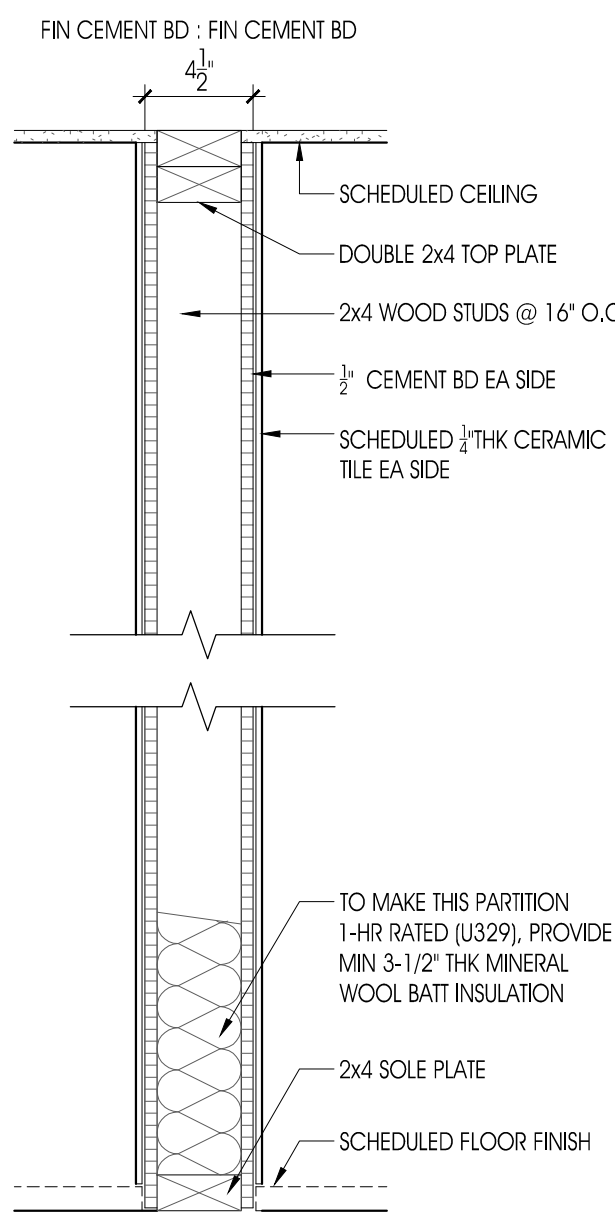
8 PARTITION TYPE 3
1-1/2"=1'-0"



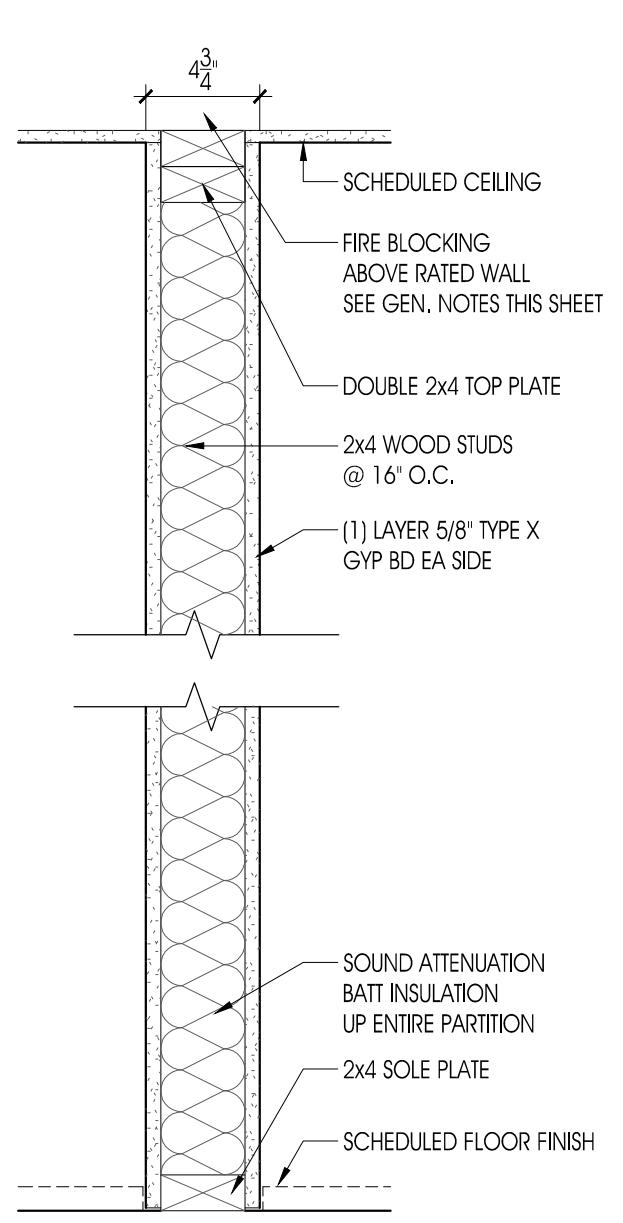
7 PARTITION TYPE 2A-X
1-1/2"=1'-0"



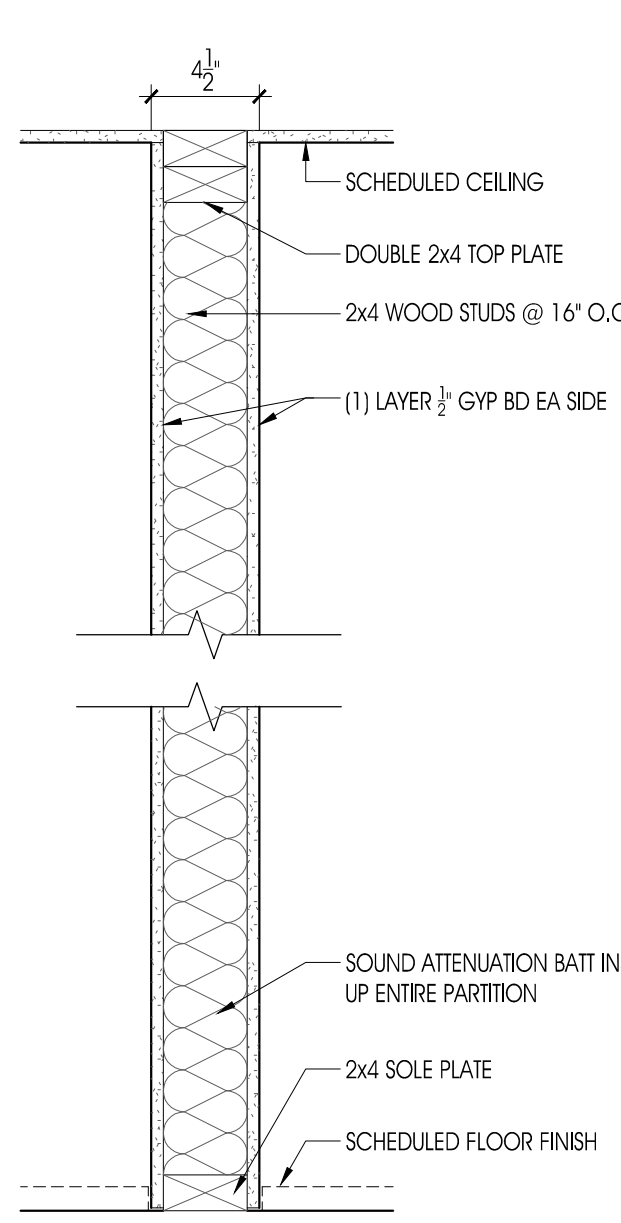
6 PARTITION TYPE 2A
1-1/2"=1'-0"



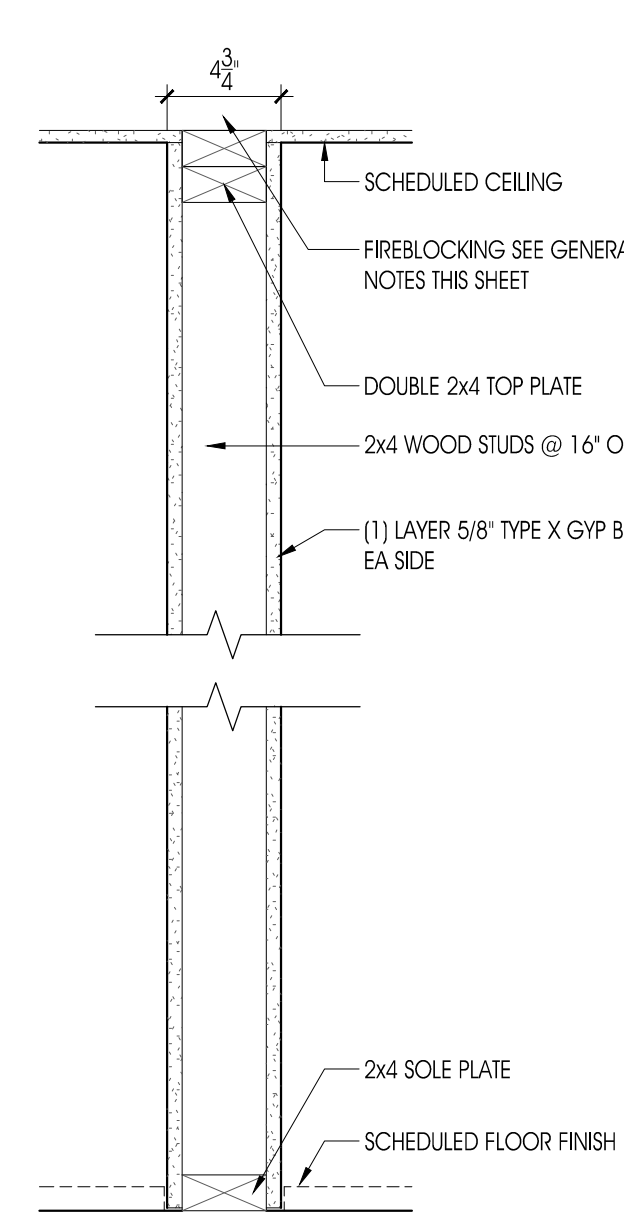
5 PARTITION TYPE 2
1-1/2"=1'-0"



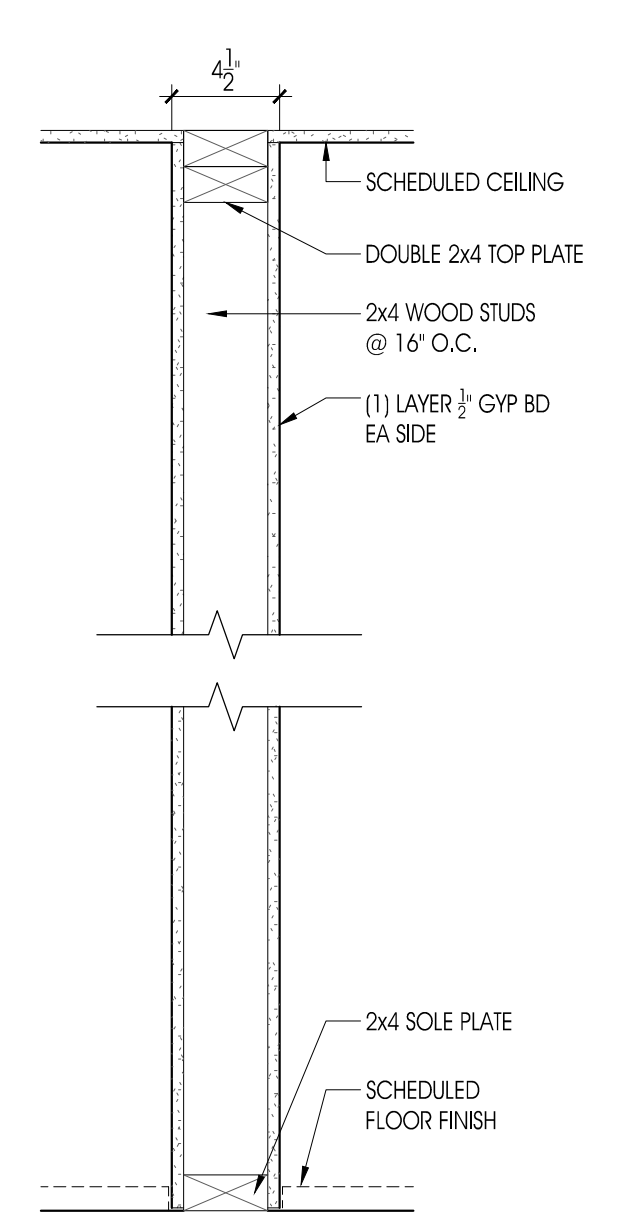
4 PARTITION TYPE 1A-X
1-1/2"=1'-0"



3 PARTITION TYPE 1A
1-1/2"=1'-0"



2 PARTITION TYPE 1-X
1-1/2"=1'-0"



1 PARTITION TYPE 1
1-1/2"=1'-0"

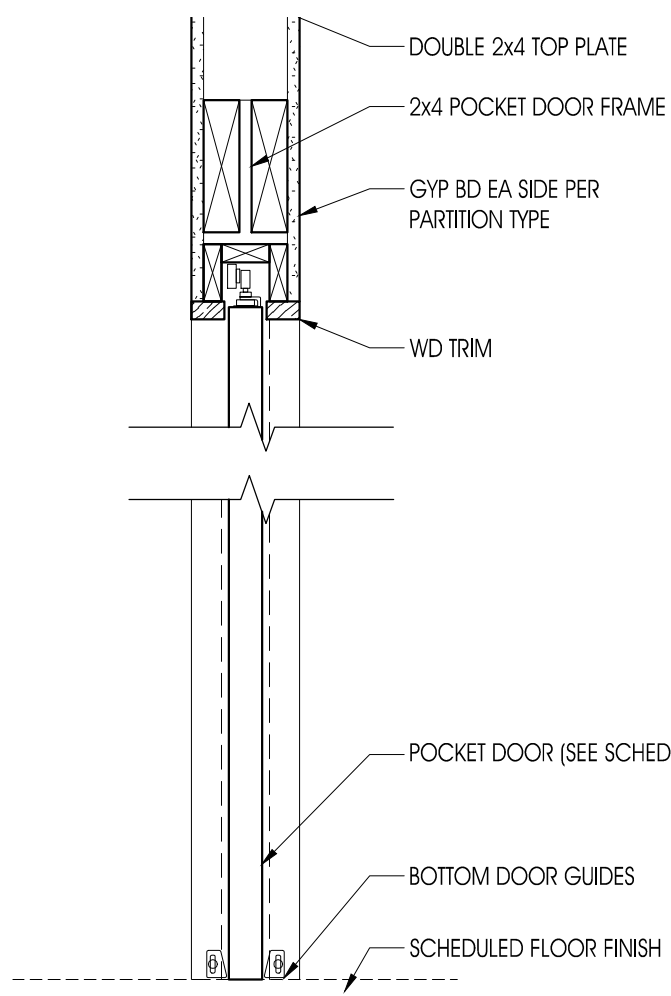
REVISIONS:	
DATE:	NO. DESCRIPTION:
PROJECT NUMBER 21507-00	
PROJECT NAME MEYER RESIDENCE 1 LCR1 ROAD MONMOUTH BEACH, NJ 07750	
PHASE BLDG PERMIT & CONSTRUCTION	
SEAL	
DRAWING TITLE PARTITION TYPES	
DATE 10/10/2016	SCALE 1" = 1'-0"
SHEET NUMBER	

A 6.00

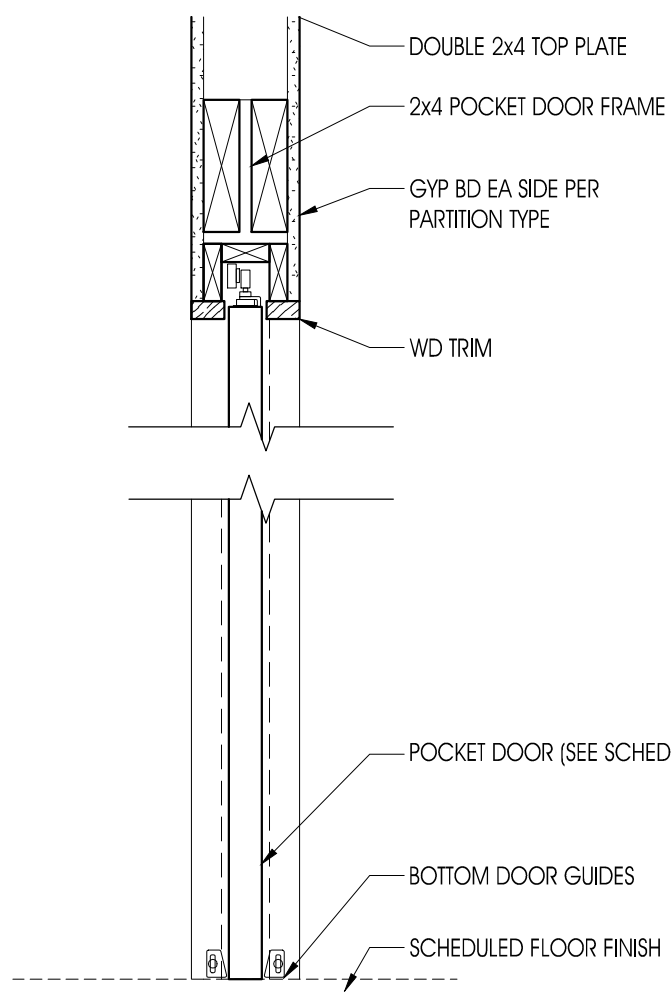
FINISH NOTES

1. ALL WALLS & CEILINGS ARE PAINTED GYP BD, UNLESS OTHERWISE NOTED.
2. BATHROOM WALLS ARE TILE FINISH.
3. ALL FLOORS ARE HARDWOOD FINISH, UNLESS OTHERWISE NOTED.
4. FLOORS IN KITCHEN, BATHROOMS, POWDER ROOM, LAUNDRY & UTILITY ROOM ARE TILE FINISH.
5. INTERIOR STAIR FINISH TO BE SELECTED BY OWNER.
6. ALL BASEBO TRIM, DOOR & WINDOW CASING TO BE PAINTED HARDWD

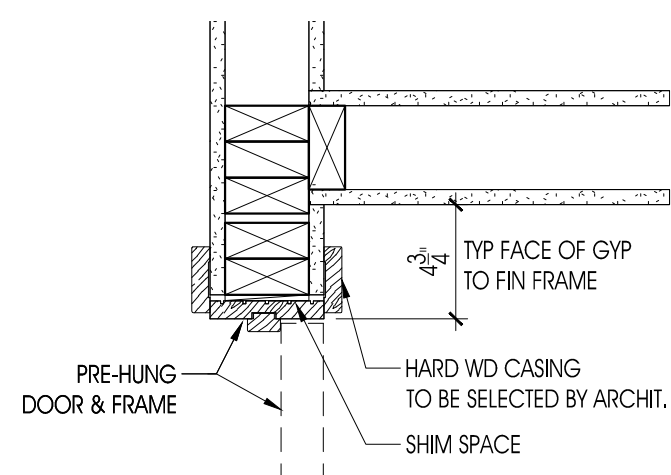
DOOR DETAILS



3 POCKET DR SECT. (2 X 4 WALL)
1-1/2"=1'-0"

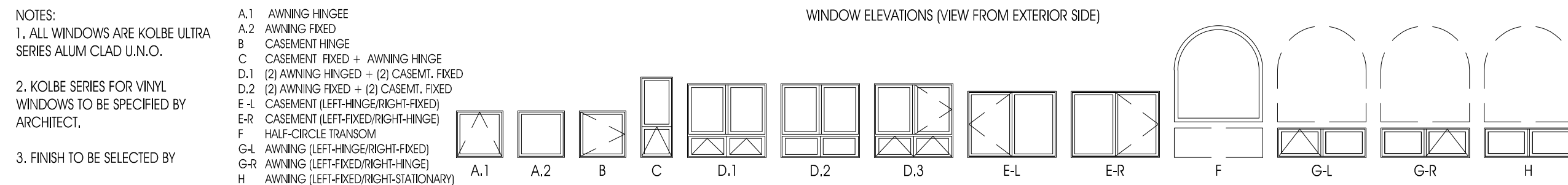


2 POCKET DR SECT. (2 X 4 WALL)
1-1/2"=1'-0"

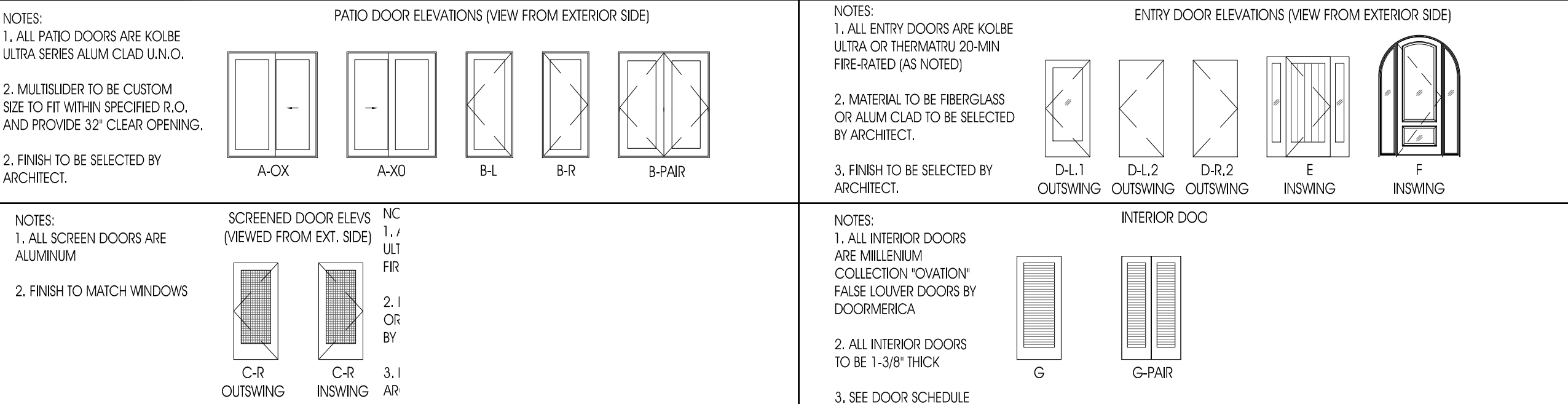


1 TYP INT. SWING DR. JAMB - PLAN
1-1/2"=1'-0"

WINDOW TYPES



DOOR TYPES



PATIO DOOR SCHEDULE

Floor	Dr.#	Location	Room #	Door Type	Material	Finish	Door Size	R.O. (w x h)	Hardware	Notes
Main	P10	Deck 2 (S-E Elev.)	118	A-OX	UMS	See Patio Dr. Note 2	6'-9-5/8" x 7'-3-1/2"	6'-9-5/8" x 7'-3-1/2"		
	P11	Deck 2 (S-W Elev.)	118	A-OX	UMS	See Patio Dr. Note 2	6'-9-5/8" x 7'-3-1/2"	6'-9-5/8" x 7'-3-1/2"		
	P12	Deck 1 (S-E Elev.)	117	A-OX	UMS	See Patio Dr. Note 2	6'-9-5/8" x 7'-3-1/2"	6'-9-5/8" x 7'-3-1/2"		
	P13	Deck 1 (S-E Elev.)	117	A-XO	UMS	See Patio Dr. Note 2	6'-1" x 7'-3-1/2"	6'-1" x 7'-3-1/2"		
	P14	Deck 1 (S-E Elev.)	117	A-OX	UMS	See Patio Dr. Note 2	6'-1" x 7'-3-1/2"	6'-1" x 7'-3-1/2"		
	P15	Deck 1 (S-E Elev.)	117	A-XO	UMS	See Patio Dr. Note 2	6'-1" x 7'-3-1/2"	6'-1" x 7'-3-1/2"		
	P16	Deck 1 (S-E Elev.)	117	A-OX	UMS	See Patio Dr. Note 2	6'-1" x 7'-3-1/2"	6'-1" x 7'-3-1/2"		
	P17	Deck 1 (S-E Elev.)	117	A-XO	UMS	See Patio Dr. Note 2	6'-1" x 7'-3-1/2"	6'-1" x 7'-3-1/2"		
	P18	Deck 1 (S-E Elev.)	117	B-L	UXD3070	See Patio Dr. Note 2	3'-0" x 7'-0"	3'-0" x 7'-0"		Inswing, ADA compliant sill.

2nd	P20	Deck 3 (S-E Elev.)	214	A-XO	UMS	See Patio Dr. Note 2	6'-6-1/4" x 6'-9"	6'-6-1/4" x 6'-9"		Motorized
Roof	P30	Roof (S-E Elev.)	303	B-PAIR	UXD	(2) 3'-0" x 6'-8"	6'-3-1/2" x 6'-9"	6'-3-1/2" x 6'-9"		Inswing, ADA compliant sill.

INTERIOR & ENTRY DOOR SCHEDULE

Floor	Door #	Location	Room #	Door Type	Material	Finish	Door Size (w x h)	R.O. (w x h)	Hardware	Notes
								hgt from fin floor		
Ground	1	Screened Porch 1	3	C-R INSWING	Alum	Match windows	3'-0" x 6'-8"	3'-2" x 6'-10-1/4"		
	2	not used								
	3	Stair	ST 0	D-R2 OUTSWING	Verify	Verify	3'-0" x 6'-8"	3'-2-3/8" x 6'-8-3/4"		To be: 1-3/8" min solid wood or 1-3/8" thick solid/honeycomb steel or 20-min fire-rated door by ThermoTru or equal.
	4	Screened Porch 2	4	D-L1 OUTSWING	Verify	Verify	3'-0" x 6'-8"	3'-3" x 6'-10-1/2"		Lever to match Korb's Verona
	5	Screened Porch 2	4	C-R OUTSWING	Alum	Match windows	3'-0" x 6'-8"	3'-2" x 6'-10-1/4"		Verify
	6	Ground Entry	1	E-INSWING	Verify	Match windows	plus sidelights	5'-5-3/4" x 6'-11"		Provide screen door
	7	Utility Clos.	2A	D-L2 OUTSWING	Verify	Match windows	3'-0" x 6'-8"	3'-2-3/8" x 6'-8-3/4"		Match Door #3. Fire-rating not required.
Main	100	Master Bedrm	100	G	MDF	Paint	3'-0" x 7'-0"	3'-2" x 7'-2-1/2"		
	101	Master Closet	101	G-PAIR	MDF	Paint	(2) 2'-0" x 7'-0"	8'-1" x 7'-4-1/2"		Pocket Door
	101A	Master Closet	101	(2) G-PAIR	Verify	Paint	(4) 1'-4" x 7'-0"	5'-9" x 7'-2"		Bi-fold Door - Verify if custom size can be produced in MDF to match "Ovation" door
	101B	Master Closet	101	(2) G-PAIR	Verify	Paint	(4) 1'-4" x 7'-0"	5'-9" x 7'-2"		Bi-fold Door - Verify if custom size can be produced in MDF to match "Ovation" door
	102	Master Closet	101	G	MDF	Paint	3'-0" x 7'-0"	6'-1" x 7'-4-1/2"		Pocket Door
	103	Closet 1	103	G	MDF	Paint	3'-0" x 7'-0"	6'-1" x 7'-4-1/2"		Pocket Door
	103A	Closet 1	103	(2) G-PAIR	Verify	Paint	(4) 1'-4" x 7'-0"	5'-9" x 7'-2"		Bi-fold Door - Verify if custom size can be produced in MDF to match "Ovation" door
	103B	Closet 1	103	(2) G-PAIR	Verify	Paint	(4) 1'-4" x 7'-0"	5'-9" x 7'-2"		Bi-fold Door - Verify if custom size can be produced in MDF to match "Ovation" door
	104	Bedroom 1	104	G	MDF	Paint	3'-0" x 7'-0"	6'-1" x 7'-4-1/2"		Pocket Door
	105	Bath 1	105	G	MDF	Paint	3'-0" x 7'-0"	3'-2" x 7'-2-1/2"		
	105A	Closet 2	115	(2) G-PAIR	MDF	Paint	(4) 2'-0" x 7'-0"	8'-2" x 7'-2"		Bi-fold Door
	106	Powder Rm	105A	G	MDF	Paint	3'-0" x 7'-0"	6'-1" x 7'-4-1/2"		Pocket Door
	107	Dining Rm	107	Verify	Verify	Paint	3'-0" x 7'-0"	3'-2" x 7'-2-1/2"		2-way swinging, auto-closing
	108	Kitchen	108	G	Verify	Paint	3'-0" x 7'-0"	3'-2" x 7'-2-1/2"		2-way swinging, auto-closing
	109	Bedrm 2	109	G	MDF	Paint	3'-0" x 7'-0"	3'-2" x 7'-2-1/2"		
	110	Laundry	110	G	MDF	Paint	3'-0" x 7'-0"	3'-2" x 7'-2-1/2"		
	111	Closet 2	115	G	MDF	Paint	3'-0" x 7'-0"	6'-1" x 7'-4-1/2"		Pocket Door
	112	Bath 2	116	G	MDF	Paint	3'-0" x 7'-0"	6'-1" x 7'-4-1/2"		Pocket Door
	113	Foyer	112	F-INSWING	Alum	Clad	3'-0" x 8'-0"	plus sidelights		

2nd Fl	200	Bedrm 5	200	G	MDF	Paint	3'-0" x 6'-8"	3'-2" x 6'-10-1/2"		
	200A	Bedrm 5	200	(2) G-PAIR	Verify	Paint	(4) 1'-6" x 6'-8"	6'-2" x 6'-10"		Bi-fold Door - Verify if custom size can be produced in MDF to match "Ovation" door
	201	Bath 5	201	G	MDF	Paint	3'-0" x 6'-8"	6'-1" x 7'-0-1/2"		Pocket Door
	202	Bath 4	202	G	MDF	Paint	3'-0" x 6'-8"	6'-1" x 7'-0-1/2"		Pocket Door
	202A	Bath 4 Vestibule	202A	(2) G-PAIR	Verify	Paint	(4) 1'-6-1/2" x 6'-8"	6'-4" x 6'-10"		Bi-fold Door - Verify if custom size can be produced in MDF to match "Ovation" door
	203	Bath 4 Vestibule	202A	G	MDF	Paint	3'-0" x 6'-8"	6'-1" x 7'-0-1/2"		Pocket Door
	204	Bedrm 4	204	G	MDF	Paint	3'-0" x 6'-8"	6'-1" x 7'-0-1/2"		Pocket Door
	205	Storage	205	G	MDF	Paint	3'-0" x 6'-8"	3'-2" x 6'-10-1/2"		
	206	Sitting Rm	206	G-PAIR	MDF	Paint	(2) 2'-0" x 6'-8"	6'-1" x 7'-0-1/2"		Pocket Door
	207	Bedrm 3	210	G	MDF	Paint	3'-0" x 6'-8"	3'-2" x 6'-10-1/2"		
	208	Utility	211	G	MDF	Paint	3'-0" x 6'-8"	3'-2" x 6'-10-1/2"		
	209	Closet 3	212	G	MDF	Paint	3'-0" x 6'-8"	6'-1" x 7'-0-1/2"		Pocket Door
	210	Bath 3	213	G	MDF	Paint	3'-0" x 6'-8"	6'-1" x 7'-0-1/2"		Pocket Door
	211	Closet 2A	207	G	MDF	Paint	3'-0" x 6'-8"	6'-1" x 7'-0-1/2"		Pocket Door
	212A	Closet 3	212	(2) G-PAIR	MDF	Paint	(4) 2'-0" x 6'-8"	8'-2" x 6'-10"		Bi-fold Door

Roof	300	Elevator Control Closet	301	G	MDF	Paint	3'-0" x 6'-8"	3'-2" x 6'-10-1/2"		Self-closing, self-locking w/ key & spring return latch
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WINDOW SCHEDULE

Floor	Wind. #	Façade Location	Room	Room #	Wind. Type	Model #	R.O. (w x h)	Notes
Ground	1	N-E	Garage	2	A.1	custom	2'-11-1/2" x 2'-11-1/2"	
	2	N-E	Garage	2	A.1	custom	2'-11-1/2" x 2'-11-1/2"	
	3	N-E	Garage	2	A.1	custom	2'-11-1/2" x 2'-11-1/2"	
	4	N-W (Harbour Way)	Garage	2	A.1	KU20261	2'-0" x 2'-7"	
	5	N-W (Harbour Way)	Garage	2	A.1	KU20261	2'-0" x 2'-7"	
	6	N-W (Harbour Way)	Garage	2	A.1	KU20261	2'-0" x 2'-7"	
	7	N-E (stair/elevator tower)	Stair	ST 0	A.1	custom	1'-7-1/2" x 3'-1"	Tempered glass
	8	S-W (Lori Rd - porch)	Screened Porch 2	4	A.1	custom	2'-11-1/2" x 2'-11-1/2"	
	9	S-W (Lori Rd - porch)	Screened Porch 2	4	A.1	KU30301	3'-1" x 3'-1"	

Main	100	N-W (Harbour Way)	Bedrm 1	104	A.1	custom	3'-7" x 3'-7"	
	101	N-W (Harbour Way)	Bedrm 1	104	A.1	custom	3'-7" x 3'-7"	
	102	N-W (Harbour Way)	Bath 1	105	A.1	custom	3'-7" x 3'-7"	Tempered glass
	103	N-W (Harbour Way-recess)	Powder Rm	105A	A.1	custom	1'-9" x 3'-1"	
	104	N-W (Harbour Way-recess)	Corridor 1	110	C	KU20201+custom	2'-1" x 5'-5"	
	105	N-W (Harbour Way-recess)	Corridor 1	110	C	KU20201+custom	2'-1" x 5'-5"	
	106	N-W (Harbour Way-recess)	Corridor 1	110	C	KU20201+custom	2'-1" x 5'-5"	
	107	N-W (Harbour Way-recess)	Stair	ST 1	A.1	custom	1'-9" x 3'-1"	
	108	N-W (Harbour Way)	Laundry	114	A.1	KU28301	2'-9" x 3'-1"	
	109	N-W (Harbour Way)	Closet	115	A.1	KU28301	2'-9" x 3'-1"	
	110	N-W (Harbour Way)	Bath 2	116	A.1	KU28301	2'-9" x 3'-1"	Tempered glass, K-Kron2 interior
	111	S-W (Lori Rd)	Bath 2	116	A.1	KU28301	2'-9" x 3'-1"	Tempered glass, K-Kron2 interior
	112	S-W (Lori Rd)	Bedrm 2	113	A.1	KU28301	2'-9" x 3'-1"	
	113	S-W (Lori Rd)	Bedrm 2	113	A.1	KU28301	2'-9" x 3'-1"	
	114	not used						
	115	S-W (Lori Rd)	Family Rm	109	D.1	KU28162	5'-5" x 5'-1"	
	116	S-W (Lori Rd)	Family Rm	109	D.1	KU28162	5'-5" x 5'-1"	
	117	S-E (Patten Ave)	Family Rm	109	D.1	KU28162	5'-5" x 5'-1"	
	118	S-E (Patten Ave)	Family Rm	109	D.2	KU28162	5'-5" x 5'-1"	
	119	S-E (Patten Ave)	Master Bedroom	100	D.1	KU26162	5'-1" x 5'-1"	
	120	S-E (Patten Ave)	Master Bedroom	100	D.1	KU26162	5'-1" x 5'-1"	
	121	S-E (Patten Ave)	Master Bedroom	100	D.1	KU26162	5'-1" x 5'-1"	
	122	S-E (Patten Ave)	Master Bedroom	100	D.1	KU26162	5'-1" x 5'-1"	
	123	N-E	Master Bath	102	A.1	custom	2'-5" x 2'-5"	Tempered glass, K-Kron2 interior
	124	N-E	Bedrm 1	104	B	KUE13	3'-1" x 3'-1"	Egress window

2nd Fl	200	N-W (Harbour Way)	Bedrm 4	204	A.1	custom	3'-7" x 3'-7"	
	201	N-W (Harbour Way)	Bedrm 4	204	A.1	custom	3'-7" x 3'-7"	
	202	N-W (Harbour Way)	Bedrm 4	204	A.1	custom	3'-7" x 3'-7"	
	203	N-W (Harbour Way)	Corridor 2A	206	C	KU20201+custom	2'-1" x 5'-5"	
	204	N-W (Harbour Way)	Corridor 2A	206	C	KU20201+custom	2'-1" x 5'-5"	
	205	N-W (Harbour Way)	Corridor 2A	206	C	KU20201+custom	2'-1" x 5'-5"	
	206	N-W (Harbour Way-recess)	Stair	ST 2	A.1	custom	1'-9" x 3'-1"	
	207	N-W (Harbour Way)	Stair	ST 2	A.1	custom	1'-9" x 3'-1"	
	208	N-W (Harbour Way)	Stair	ST 2	A.1	custom	1'-9" x 3'-1"	Tempered
	209	N-W (Harbour Way)	Stair	ST 2	A.1	custom	1'-9" x 3'-1"	
	210	N-W (Harbour Way)	Utility	211	A.1	KU28301	2'-9" x 3'-1"	
	211	N-W (Harbour Way)	Closet 3	212	A.1	KU28301	2'-9" x 3'-1"	
	212	N-W (Harbour Way)	Bath 3	213	A.1	KU28301	2'-9" x 3'-1"	Tempered glass, K-Kron2 interior
	213	S-W (Lori Rd)	Bath 3	213	A.1	KU28301	2'-9" x 3'-1"	Tempered glass, K-Kron2 interior
	214	S-W (Lori Rd)	Bedrm 3	210	A.1	KU28301	2'-9" x 3'-1"	
	215	S-W (Lori Rd)	Bedrm 3	210	A.1	KU28301	2'-9" x 3'-1"	
	216	S-E (Patten Ave)	Bedrm 3	210	E-L	KUE246	6'-1" x 4'-7"	Egress
	217	not used						
	218A	S-E (Patten Ave)	Sitting Rm	208	H	custom	6'-1" x 2'-1"	
	218B	S-E (Patten Ave)	Sitting Rm	208	F	custom	6'-1" x 6'-7"	Tempered glass
	219A	S-E (Patten Ave)	Dining Rm	107	G-R	custom	6'-1" x 2'-1"	Motorized
	219B	S-E (Patten Ave)	Dining Rm	107	F	custom	6'-1" x 6'-7"	Tempered glass
	220A	S-E (Patten Ave)	Dining Rm	107	G-L	custom	6'-1" x 2'-1"	Motorized
	220B	S-E (Patten Ave)	Dining Rm	107	F	custom	6'-1" x 6'-7"	Tempered glass
	221A	S-E (Patten Ave)	Living Rm	106	G-R	custom	6'-1" x 2'-1"	Motorized
	221B	S-E (Patten Ave)	Living Rm	106	F	custom	6'-1" x 6'-7"	Tempered glass
	222A	S-E (Patten Ave)	Living Rm	106	G-L	custom	6'-1" x 2'-1"	Motorized
	222B	S-E (Patten Ave)	Living Rm	106	F	custom	6'-1" x 6'-7"	Tempered glass
	223	S-E (Patten Ave)	Bedrm 5	200	D.3	custom	5'-1" x 4'-7"	Egress
	224	S-E (Patten Ave)	Bedrm 5	200	D.1	custom	5'-1" x 4'-7"	
	225	S-E (Patten Ave)	Bedrm 5	200	D.1	custom	5'-1" x 4'-7"	
	226	S-E (Patten Ave)	Bedrm 5	200	D.1	custom	5'-1" x 4'-7"	
	227	S-E (Patten Ave)	Bedrm 5	200	D.1	custom	5'-1" x 4'-7"	
228	N-E	Bath 5	201	A.1	KU20201	2'-1" x 2'-1"	Tempered glass	
229	N-E	Bath 4	202	A.1	KU20201	2'-1" x 2'-1"	Tempered glass	
230	N-E	Bath 4	202	A.1	KU20201	2'-1" x 2'-1"	Tempered glass	
231	N-E	Bath 4	202	A.1	KU20201	2'-1" x 2'-1"	Tempered glass	
232	N-E	Bedrm 4	204	B	KUE13	3'-1" x 3'-1"	Egress window	

WINDOW TYPES

1. ALL WINDOWS ARE KOLBE
ULTRA SERIES ALUM CLAD
U.N.O.

3. FINISH TO BE SELECTED BY ARCHITECT.

J

WINDOW SCHEDULE

MICHAEL GRAVES
ARCHITECTURE & DESIGN

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PROJECT NUMBER

21507-00

PROJECT NAME

MEYER RESIDENCE

1 LORI ROAD
MONMOUTH BEACH, NJ 07750

PHASE

BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE

SCHEDULES

DATE _____

01/08/18

SCA

AS NOTED

SHEET NUMBER

A 6.02

GENERAL NOTES

DESIGN ARCHITECT

MICHAEL GRAVES
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REVISED:		
DATE:	NO.	DESCRIPTION:

PROJECT NUMBER
21507-00

PROJECT NAME

MEYER RESIDENCE

1 LORI ROAD
MONMOUTH BEACH, NJ 07750

PHASE

BLDG PERMIT &
CONSTRUCTION

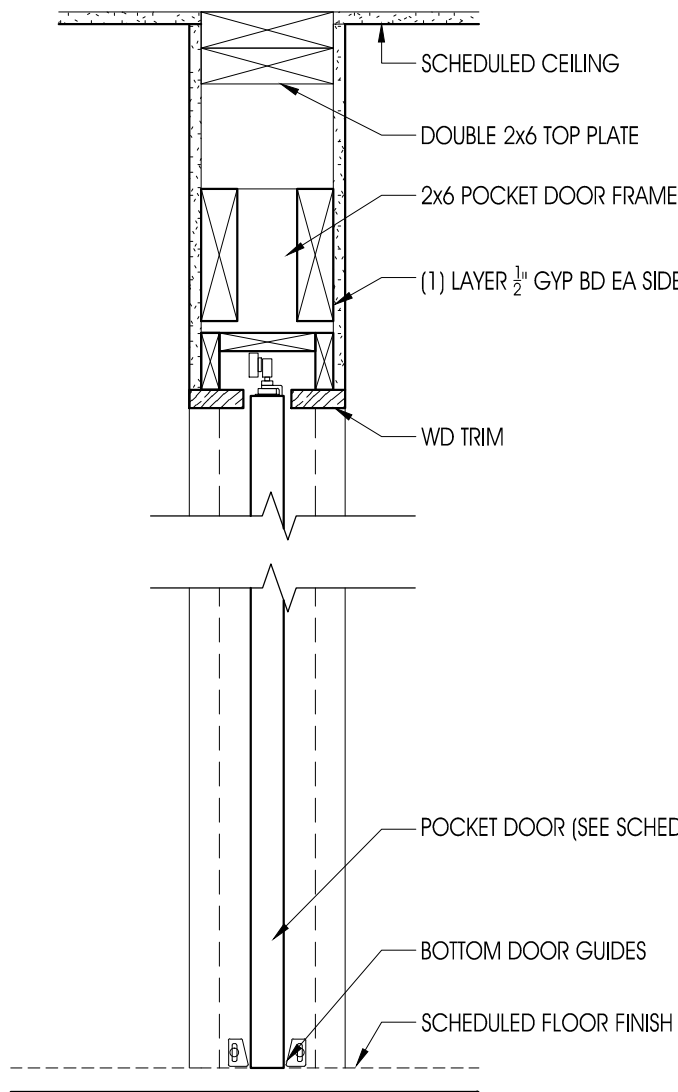
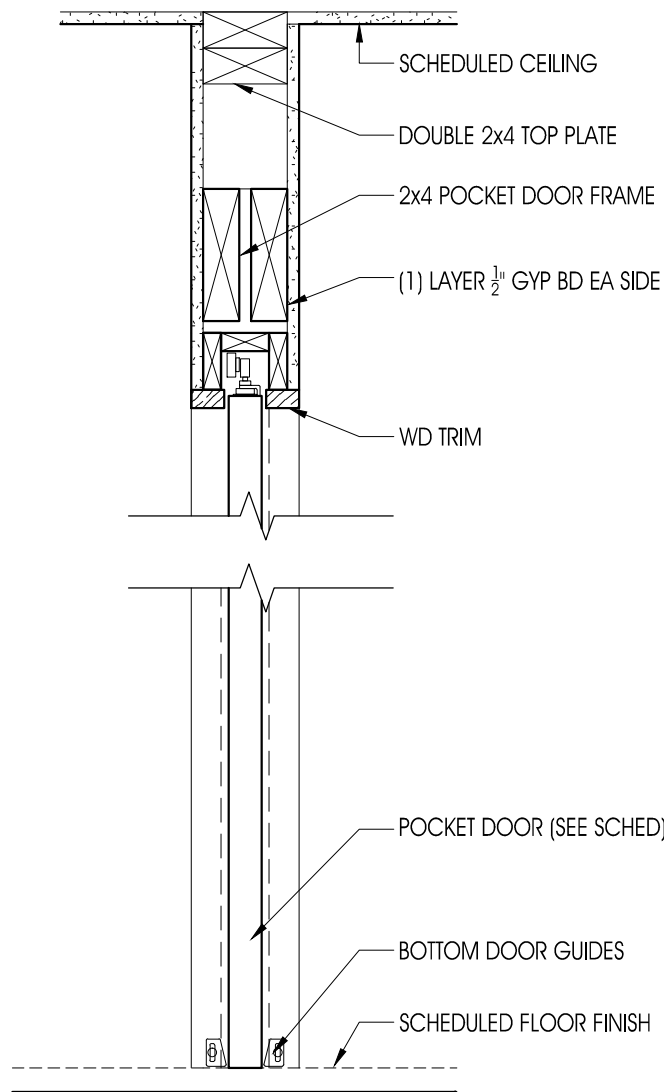
SEAL

DRAWING TITLE

DOOR DETAILS

DATE	SCALE
10/10/2016	AS NOTED

SHEET NUMBER



$$\frac{2}{-} \text{POCKET DR (2 X 4 WALL)} \\ 1-1/2" = 1'-0"$$

1	POCKET DR (2 X 6 WALL)
-	1-1/2"=1'-0"

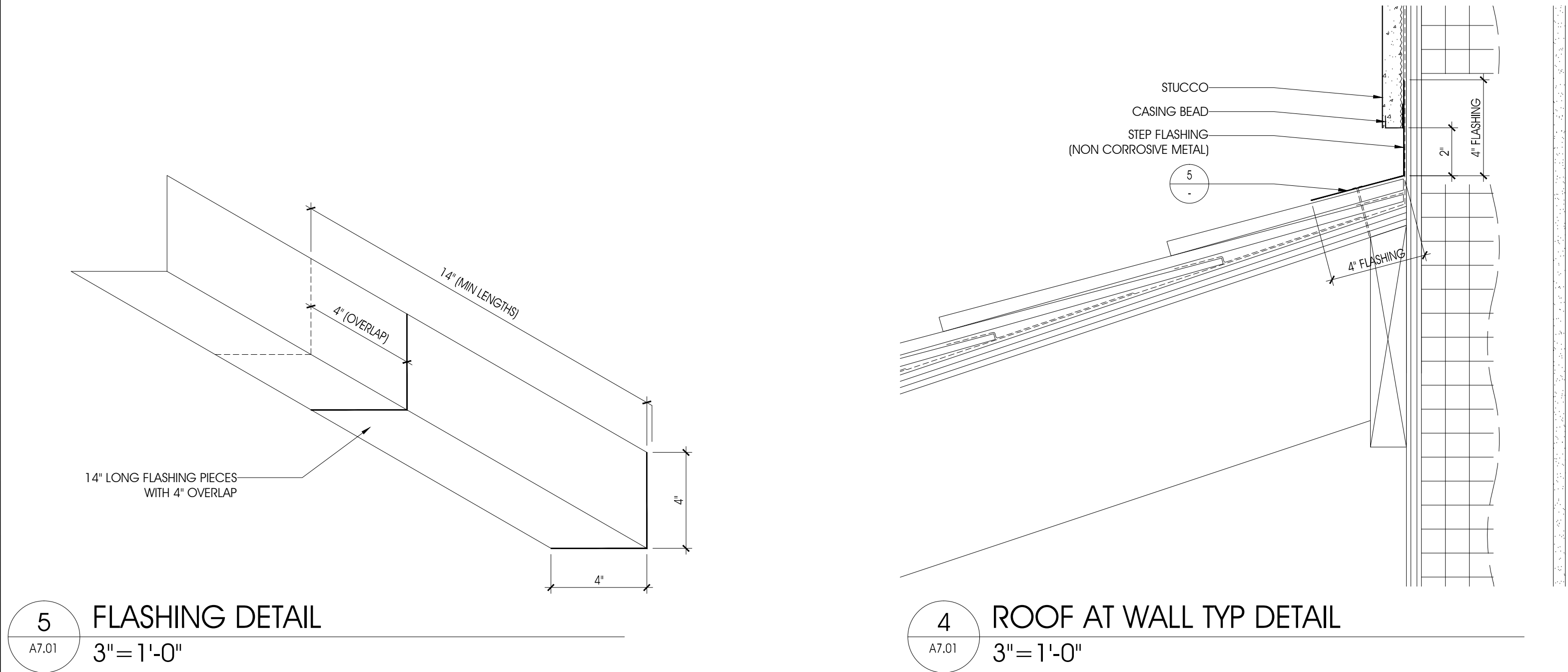
$$\begin{array}{r} 6 \\ - \\ \hline \end{array} \times 1\frac{1}{2}'' = 1'-0''$$

$$\begin{array}{r} 5 \\ - \\ \hline \end{array} \quad \begin{array}{l} \text{X} \\ 1-1/2'' = 1'-0'' \end{array}$$

$$\begin{array}{r} 4 \\ - \\ \hline \end{array} \times 1\frac{1}{2}'' = 1'-0''$$

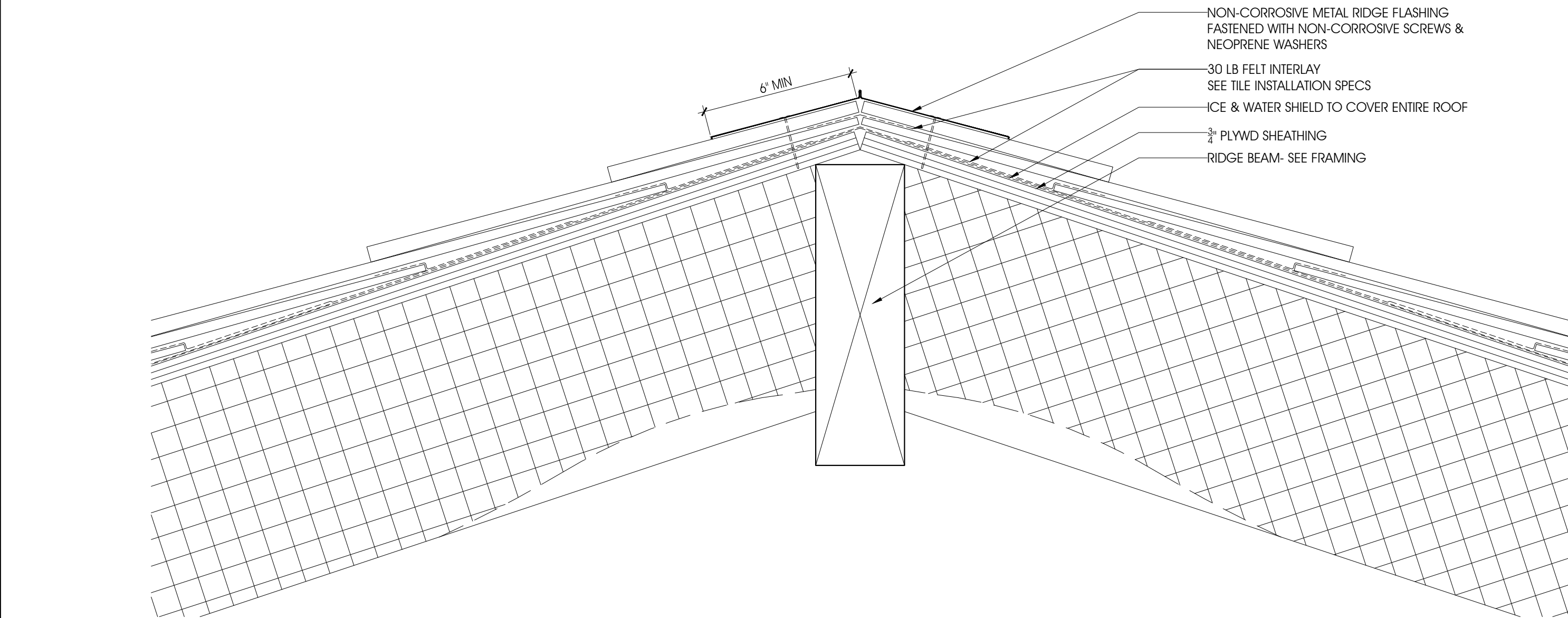
$$\begin{array}{r} 3 \\ - \\ \hline \end{array} \quad \begin{array}{l} \text{X} \\ 1-1/2'' = 1'-0'' \end{array}$$

A 7.00

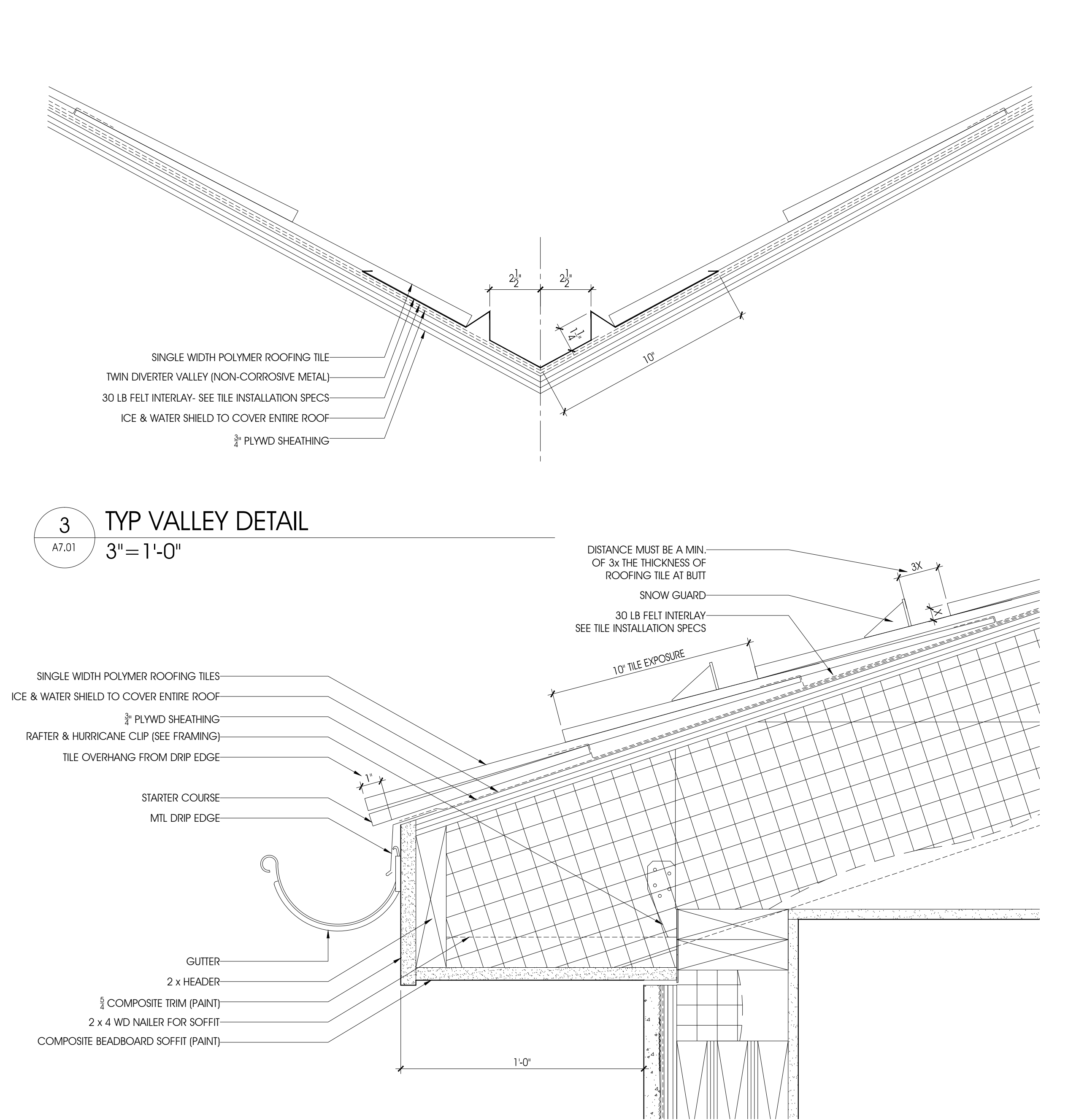


5
A7.01
FLASHING DETAIL
3" = 1'-0"

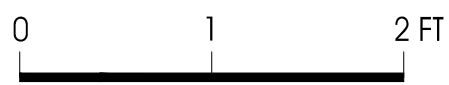
4
A7.01
ROOF AT WALL TYP DETAIL
3" = 1'-0"



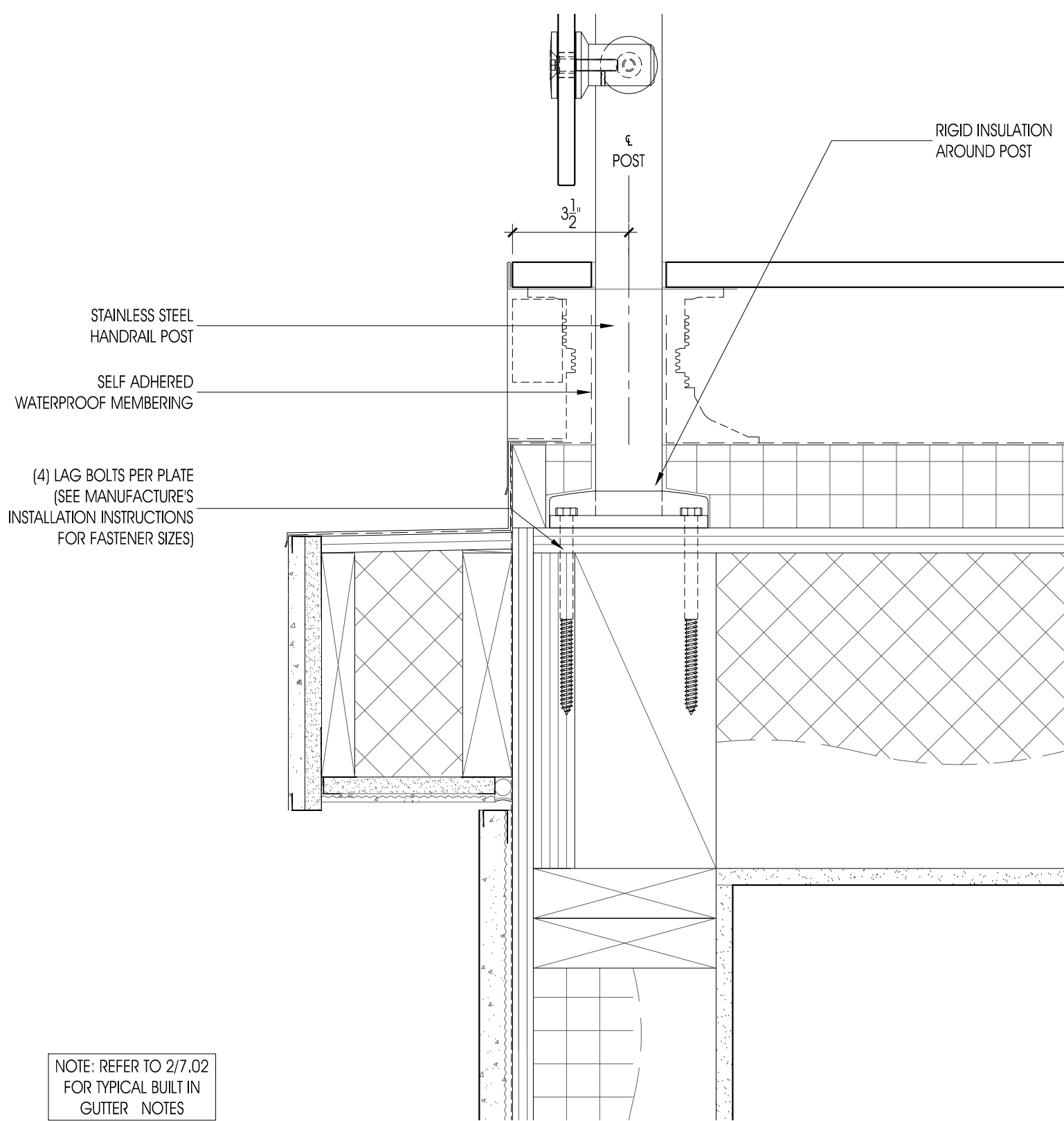
2
A7.01
TYP RIDGE DETAIL
3" = 1'-0"



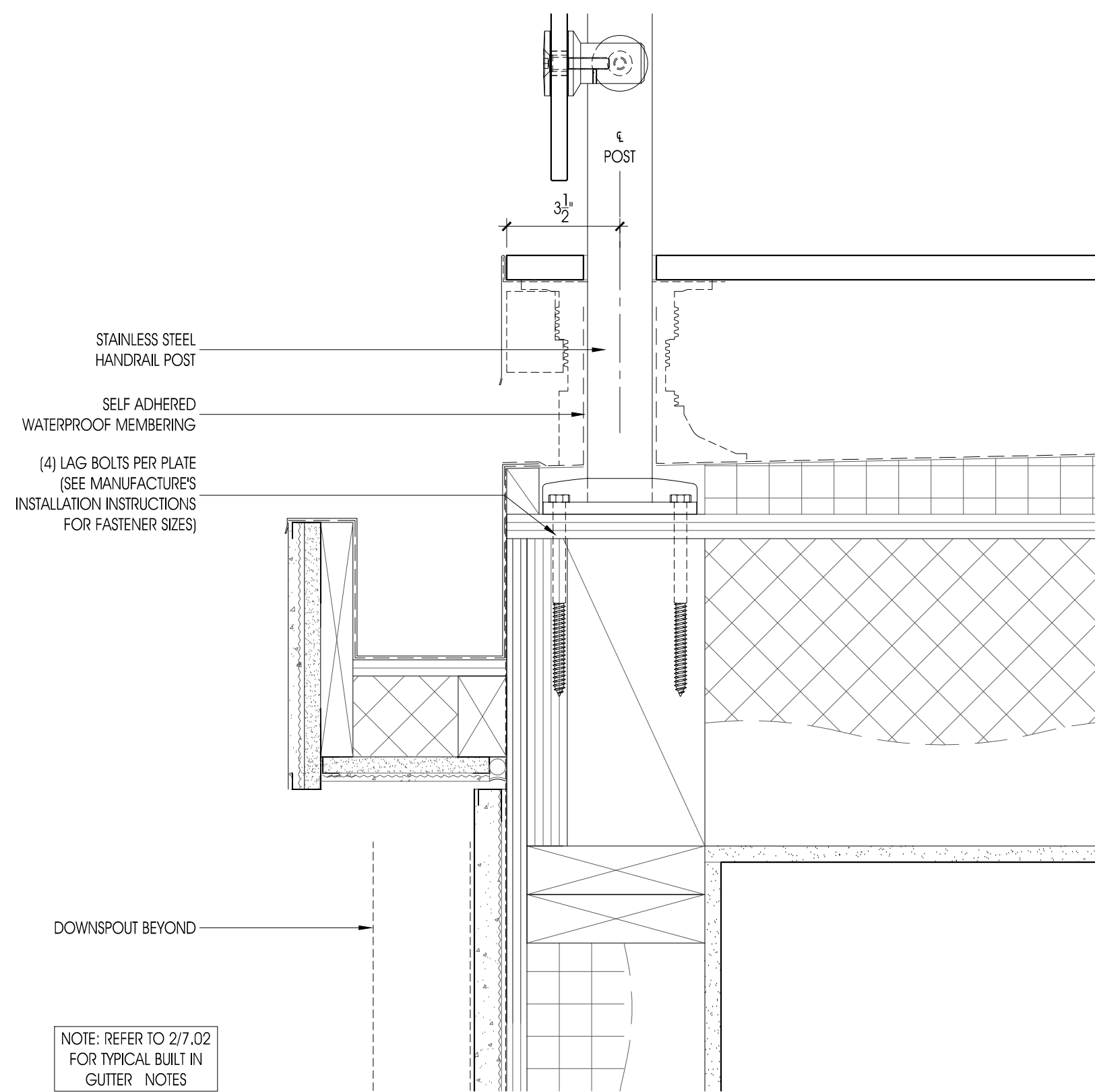
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A7.01
TYP EAVE DETAIL
3" = 1'-0"



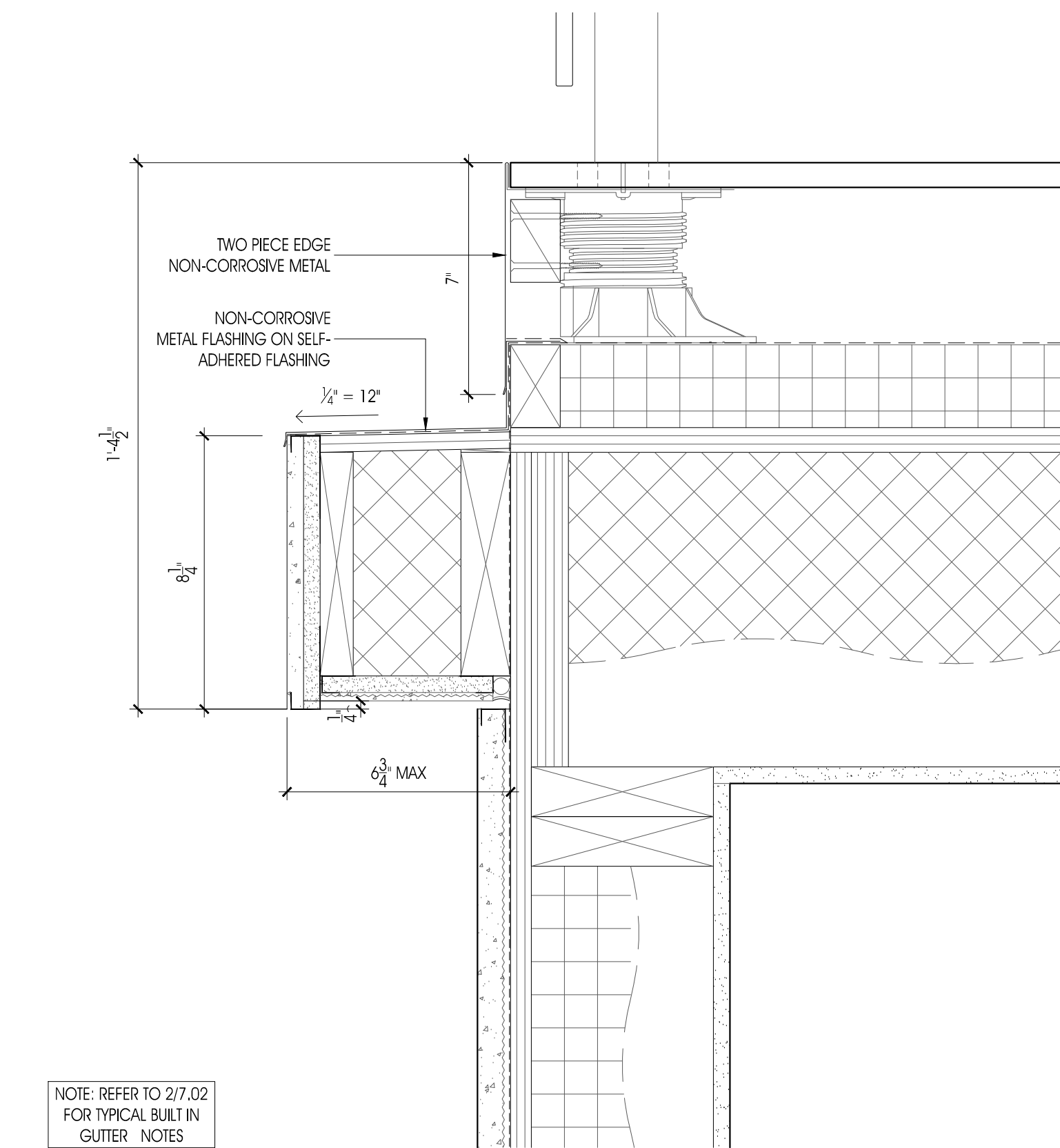
DESIGN ARCHITECT	
MICHAEL GRAVES ARCHITECTURE & DESIGN	
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INSITE ENGINEERING, LLC	
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REVISIONS:	
DATE:	NO. DESCRIPTION:
PROJECT NUMBER	
21507-00	
PROJECT NAME	
MEYER RESIDENCE	
1 LORI ROAD MONMOUTH BEACH, NJ 07750	
PHASE	
BLDG PERMIT & CONSTRUCTION	
SEAL	
DRAWING TITLE	
ROOF DETAILS	
DATE	SCALE
10/10/2016	AS NOTED
SHEET NUMBER	
A7.01	



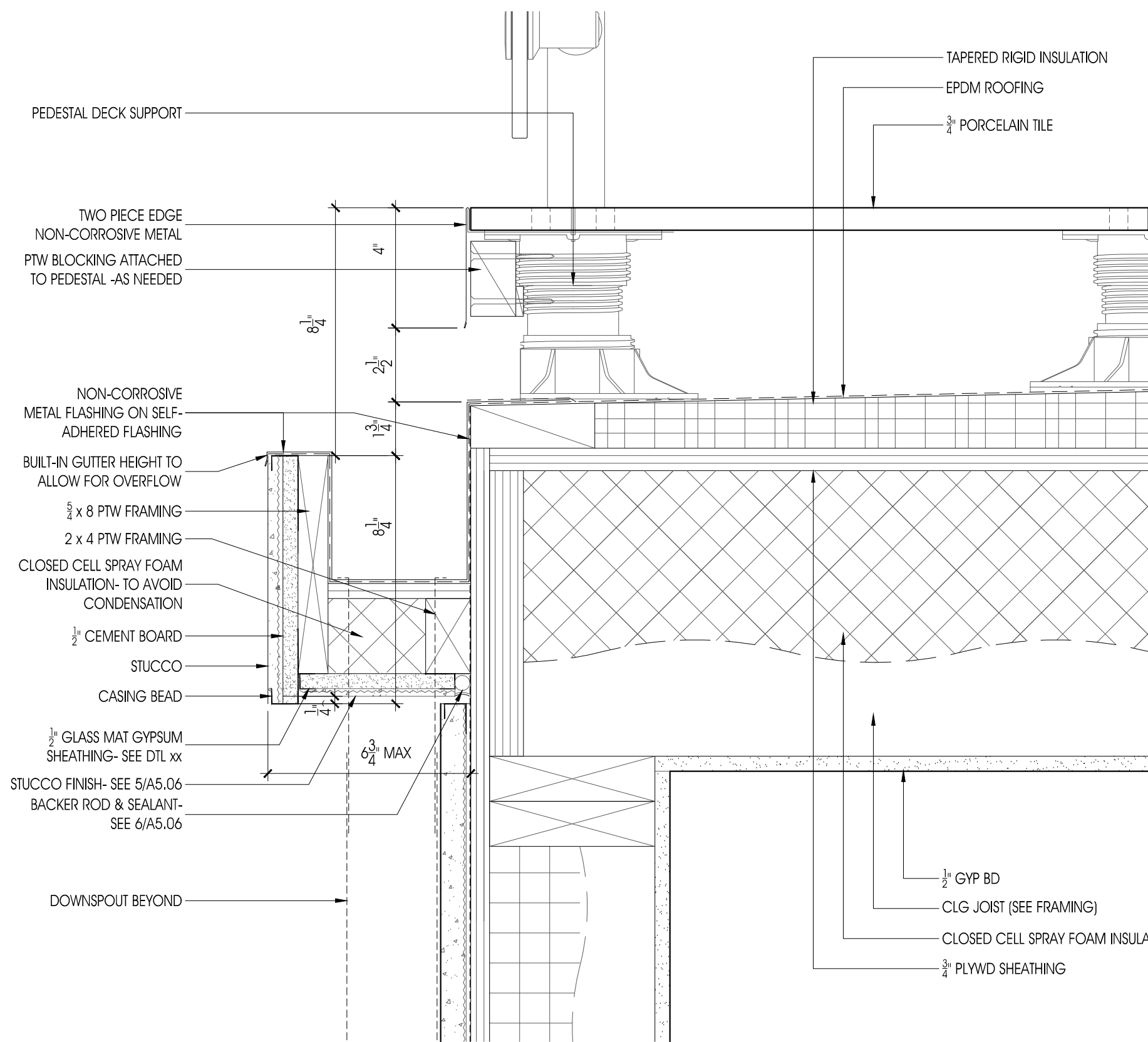
6 DECK DETAIL -TRIM
- 3"=1'-0"



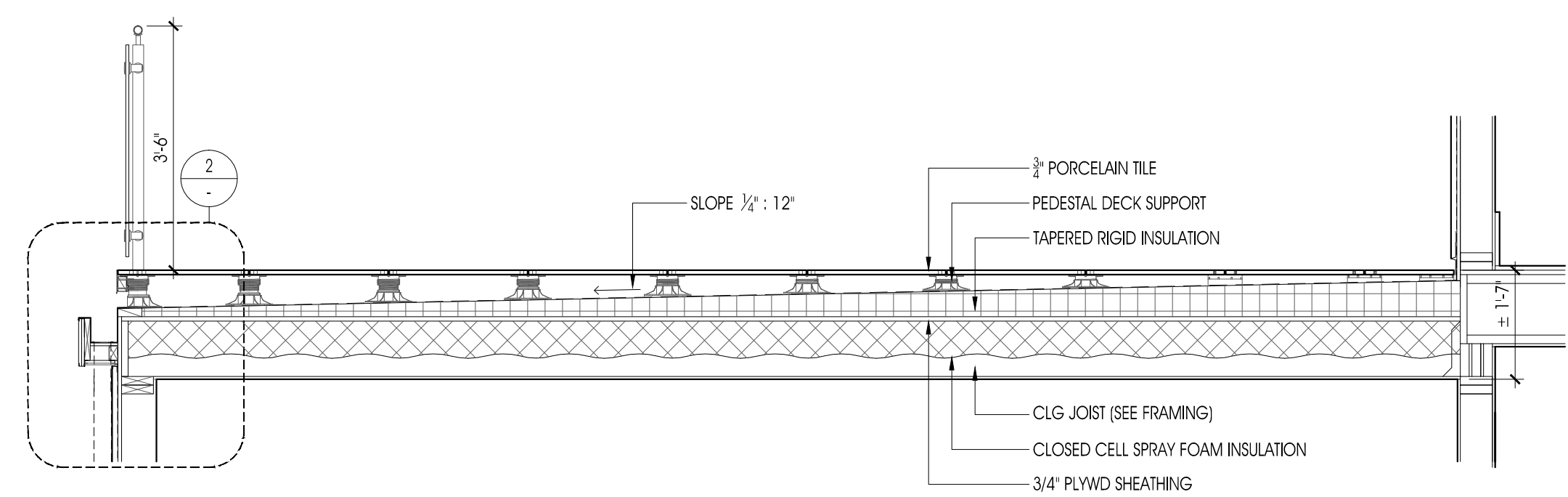
5 DECK DETAIL -BUILT IN GUTTER
- 3"=1'-0"



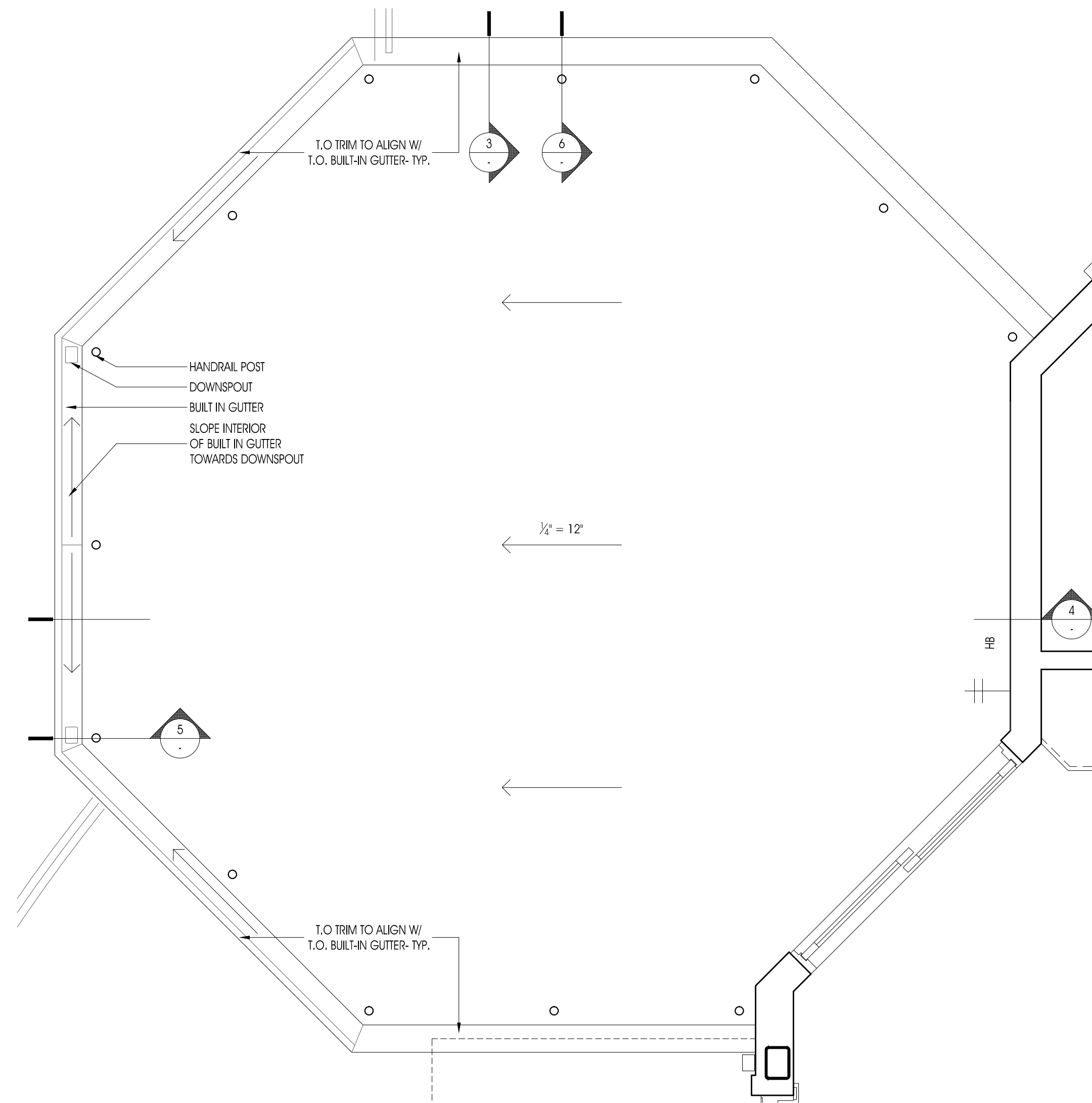
3 DECK DETAIL -TRIM
- 3"=1'-0"



2 DECK DETAIL -BUILT IN GUTTER
- 3"=1'-0"



4 DECK SECTION
- 1/2"=1'-0"



1 PLAN BELOW TILE DECK
- 1/2"=1'-0"

DESIGN ARCHITECT

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REVISIONS:

DATE: NO. DESCRIPTION:

PROJECT NUMBER

21507-00

PROJECT NAME

MEYER RESIDENCE

1 LORI ROAD
MONMOUTH BEACH, NJ 07750

PHASE

BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE

DECK 3 DETAILS

DATE

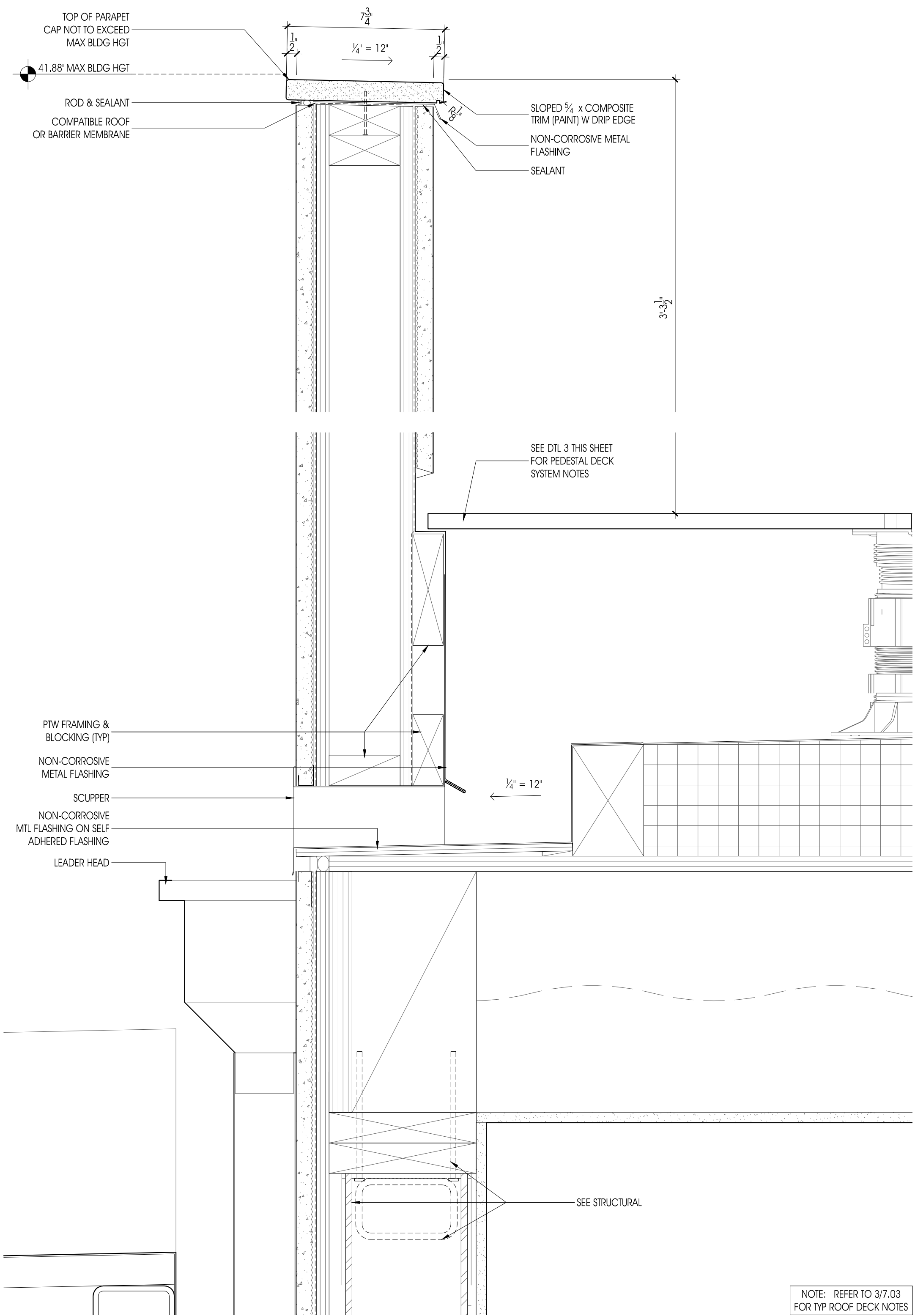
10/10/2016

SCALE

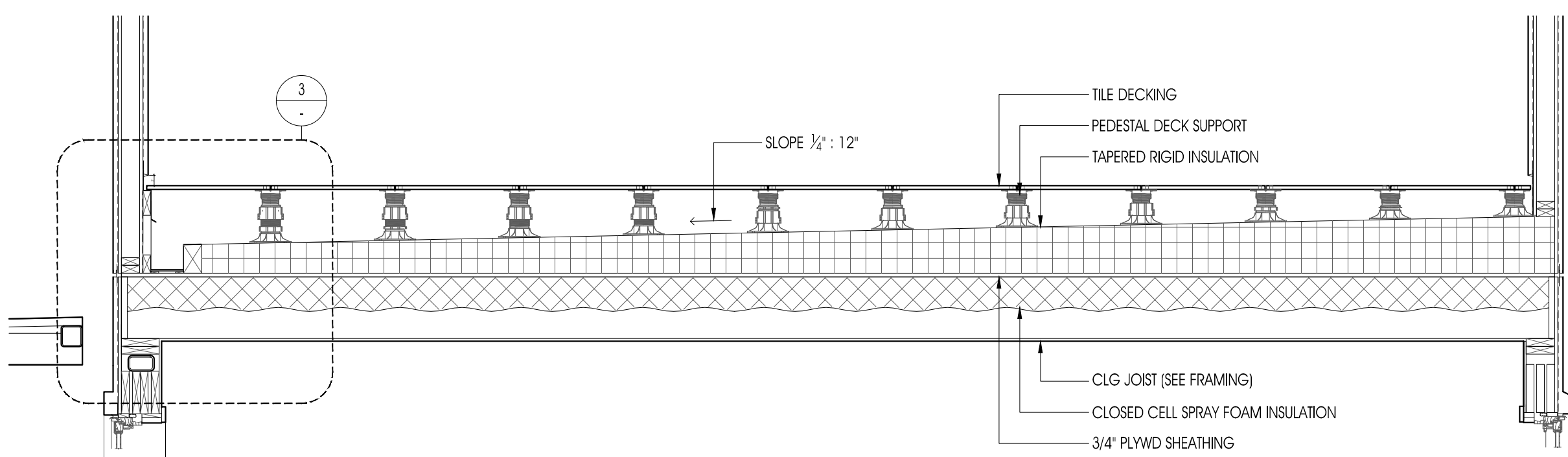
AS NOTED

SHEET NUMBER

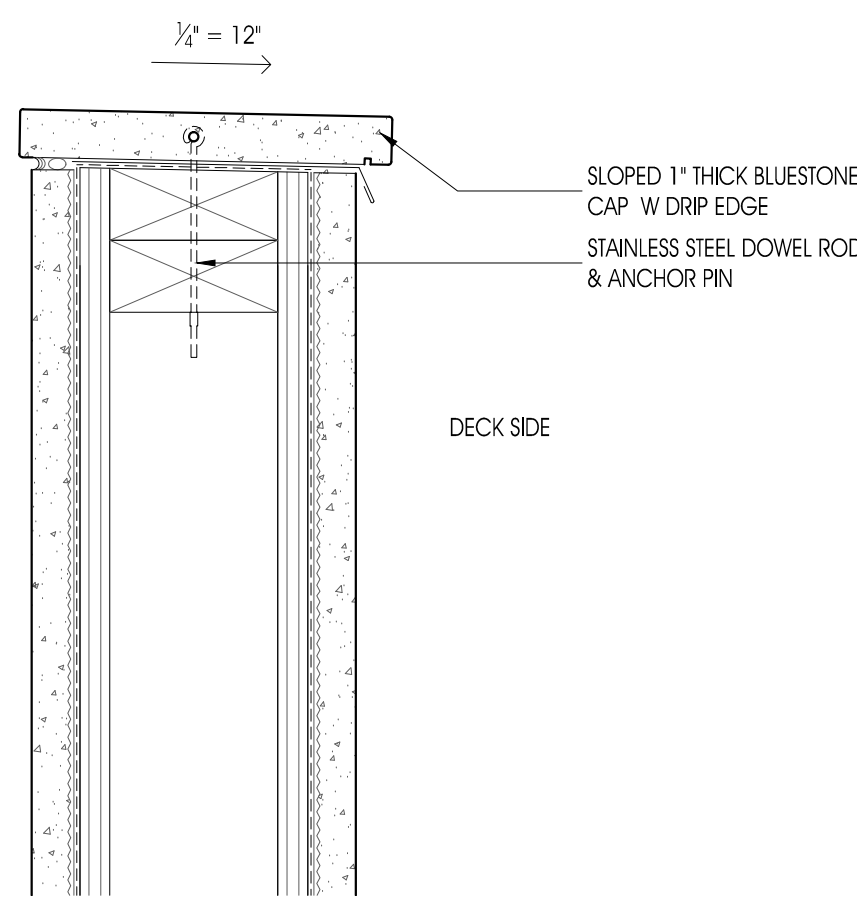
A7.02



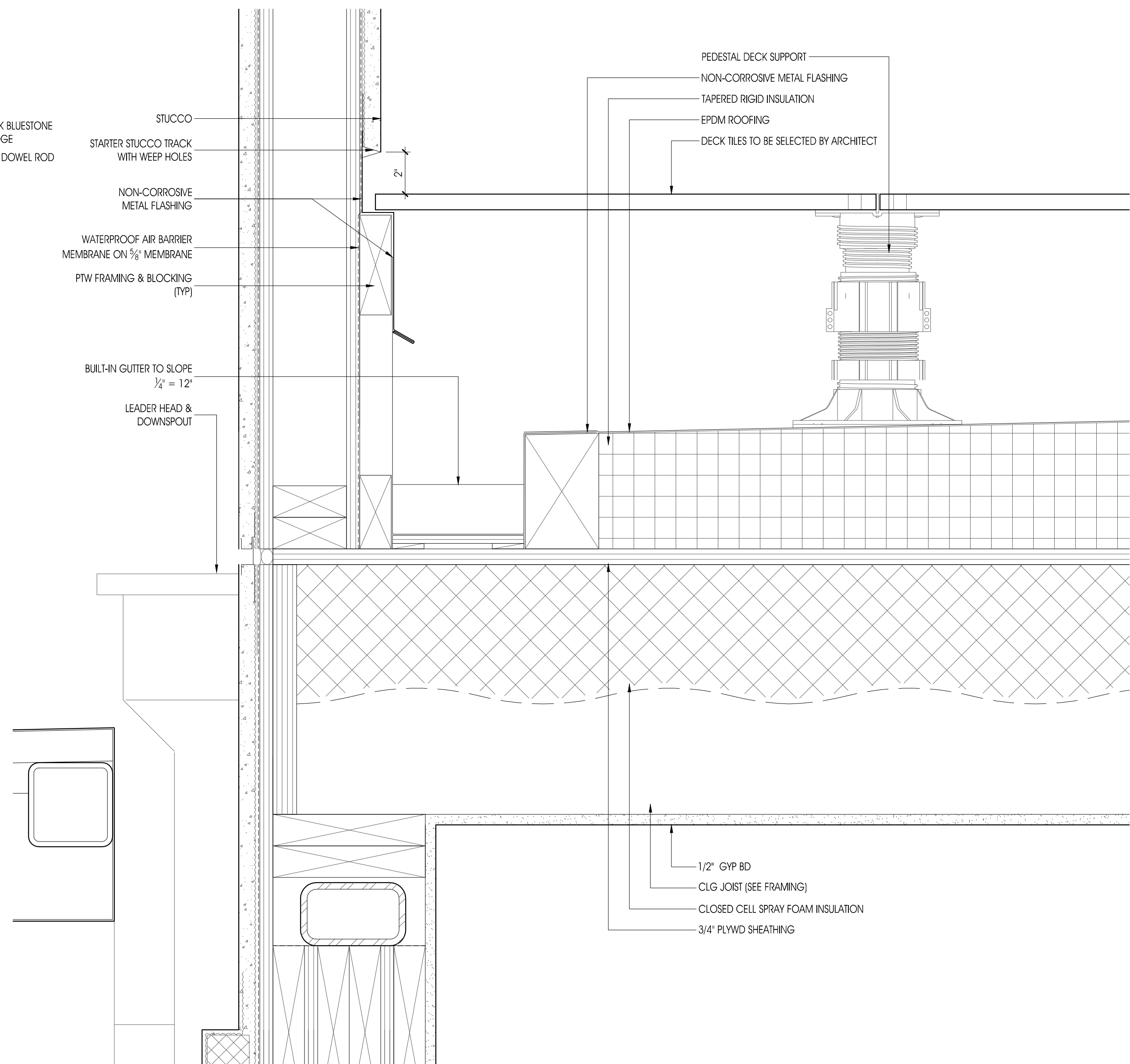
4 ROOF DECK DETAIL
3" = 1'-0"



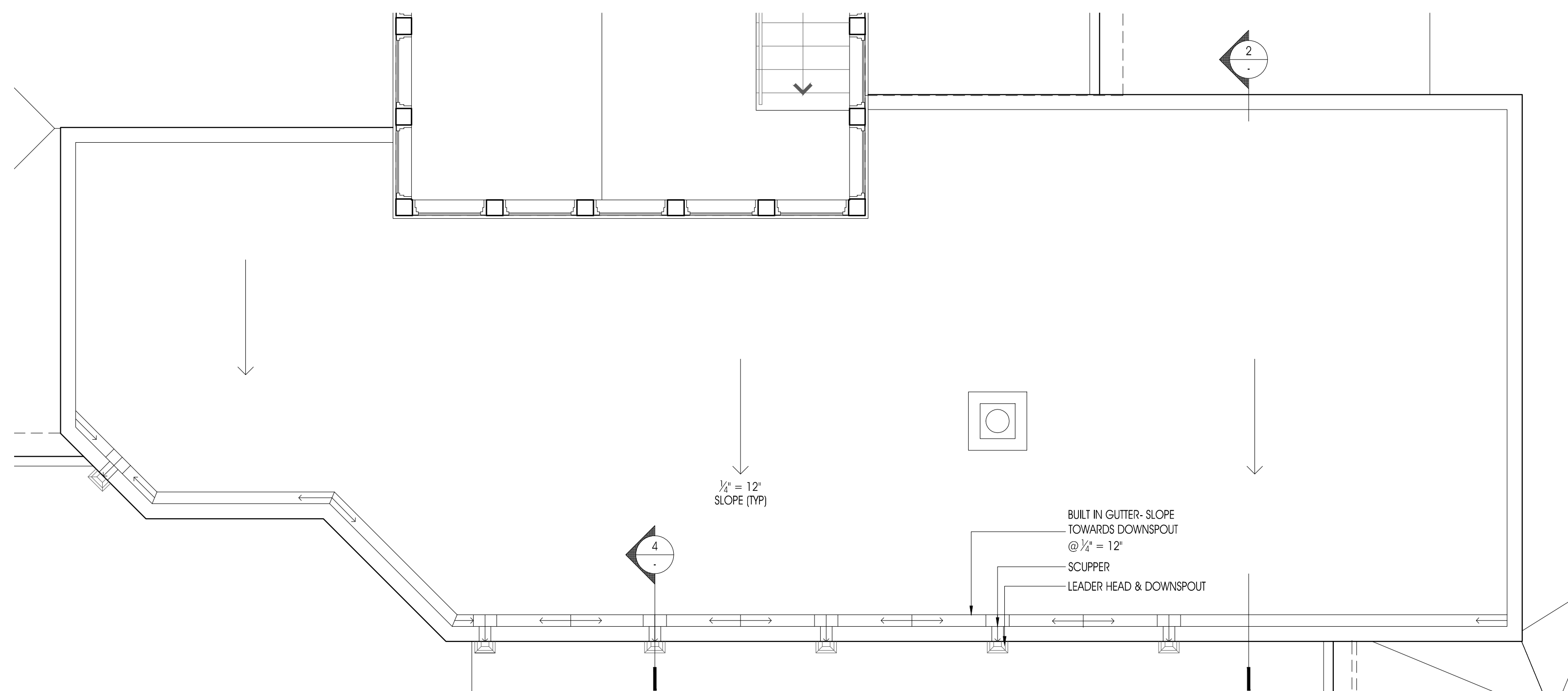
2 ROOF DECK SECTION
1/2" = 1'-0"



5 ALT CAP DETAIL
3" = 1'-0"



3 ROOF DECK DETAIL
3" = 1'-0"



1 ROOF DECK PLAN BELOW TILE DECKING
1/4" = 1'-0"

0 1 2 FT

REVISIONS:	
DATE:	NO. DESCRIPTION:

PROJECT NUMBER
21507-00

PROJECT NAME
MEYER RESIDENCE
1 LORI ROAD
MONMOUTH BEACH, NJ 07750

PHASE
**BLDG PERMIT &
CONSTRUCTION**

SEAL

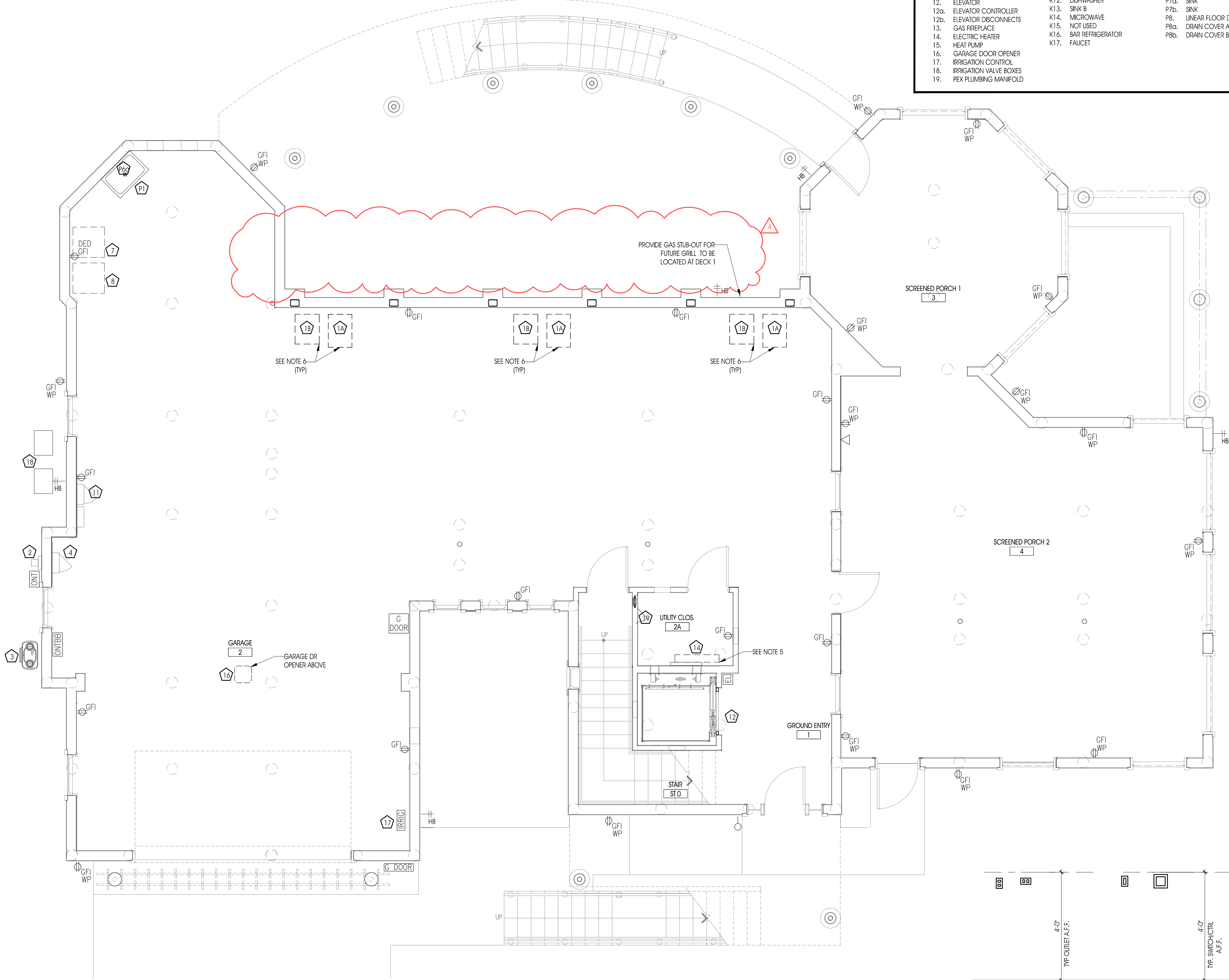
DRAWING TITLE
ROOF DECK DETAILS

DATE
10/10/2016

SCALE
AS NOTED

SHEET NUMBER

A7.03



EQUIPMT LEGEND					
##	EQUIPMENT	##	KITCHEN EQUIPMENT	##	BATH/UTILITY PLUMBING FIXT
1a.	GAS FURNACE	K1.	SINK A	P1.	MOP SINK
1b.	INDOOR COIL	K2.	GAS RANGE	P2.	COMBO WHIRLPOOL TUB/SHOWER
2.	ELECTRIC METER	K3.	EXHAUST HOOD	P3.	TOILET
3.	GAS METER	K4.	DRAWER MICROWAVE	P4a.	WALL CARRIER (2 X 4 WALL)
4.	ELEC. PANEL (MAIN)	K5.	REFRIGERATOR A	P4b.	WALL CARRIER (2 X 6 WALL)
5.	ELEC. PANEL (SUBPANEL)	K6.	FREEZER	P4c.	WALL CARRIER (PRE-WALL)
6.	WATER HEATER	K7.	NOT USED	P5a.	HANDSHOWER
7.	WASHER	K8.	WARMING DRAWER	P5b.	RAIN HEAD
8.	GAS DRYER	K9.	NOT USED	P5c.	THERMOSTATIC SHOWER SYS. TRIM
9.	A/C CONDENSER	K10.	INDUCTION COOKTOP	P6a.	FAUCET - MOP SINK
10.	GENERATOR	K11a.	DOWNDRAFT RECIRC. MODULE	P6b.	FAUCET - BATHRM SINK
11.	GENERATOR TRANSFER SWITCH	K11b.	DOWNDRAFT VENTILATION FAN	P6c.	FAUCET - LAUNDRY SINK
12.	ELEVATOR	K12.	DISHWASHER	P7a.	SINK
12a.	ELEVATOR CONTROLLER	K13.	SINK B	P7b.	SINK
12b.	ELEVATOR DISCONNECTS	K14.	MICROWAVE	P8.	LINEAR FLOOR DRAIN
13.	GAS FIREPLACE	K15.	NOT USED	P8a.	DRAIN COVER A (STAINLESS STL)
14.	ELECTRIC HEATER	K16.	BAR REFRIGERATOR	P8b.	DRAIN COVER B (TILE IN)
15.	HEAT PUMP	K17.	FAUCET		
16.	GARAGE DOOR OPENER				
17.	IRRIGATION CONTROL				
18.	IRRIGATION VALVE BOXES				
19.	PEX PLUMBING MANIFOLD				

ELECTRIC LEGEND	
\$	SINGLE POLE SWITCH
\$	NOTATIONS ON SWITCH TYPES: D = DIMMER SWITCH M = MOTION SENSOR SWITCH T = TIMER SWITCH 3 = 3-WAY SWITCH 4 = 4-WAY SWITCH
DOOR JAMB LIGHT SWITCH	
110 V DUPLEX OUTLET	
100 V DUPLEX OUTLET HALF-SWITCHED	
DUPLEX FLOOR OUTLET	
220 V OUTLET	
110 V QUAD OUTLET	
NOTATIONS ON OUTLET TYPES & HEIGHTS GFI = GROUND FAULT INTERRUPTER AC = OUTLET LOCATED ABOVE COUNTER WP = WATERPROOF OUTLET DED = DEDICATED CIRCUIT #F = CENTER LINE OF OUTLET HEIGHT ABOVE FIN. FL. USB = COMBINATION DUPLEX OUTLET & USB CHARGER SW = SWITCHED OUTLET	
HT	THERMOSTAT
PHONE OUTLET	
DATA OUTLET	
RECESSED SPEAKERS	
CABLE TV OUTLET	
USB OUTLET	
INT WALL SCONCE	
EXT WALL SCONCE	
SURFACE-MTD CLG LIGHT FIXT	
CEILING FAN	
PENDANT LIGHT FIXT	
RECESSED LIGHT FIXT	
RECESSED WALL WASH LIGHT FIXT	
EXT SPOT (SINGLE)	
EXT (DOUBLE)	
UNDER-CABINET LIGHT FIXT	
TAPE LIGHT FIXT	
2'-0" = LENGTH	
RECESSED LINEAR CHANNEL W/ LED TAPE	
STEP LIGHT	
EXHAUST FAN	
SMOKE DETECTOR	
SMOKE & CO DETECTOR	
SECURITY CAMERA	
ELECTRIC WINDOW SHADE	
GARAGE DR CONTROL	
GARAGE DR OPENER	
IRRIGATION SYSTEM CONTROL	
DOOR CHIME	
DOORBELL	
ELEVATOR CALL BUTTON	
ELECTRONIC WINDOW/DOOR OPERATOR	
OPTICAL NETWORK TERMINAL	
BATTERY BACKUP FOR OPTICAL NETWORK TERMINAL	
CIRCUIT	
CIRCUIT TO SWITCH/OUTLET/LIGHT FIXT NOT SHOWN ON THIS PLAN	
NOTES:	
1. CEILING HEIGHTS ARE FROM T.O. FIN FL TO B.O. FRAMING	
2. WALL SCONCE MOUNTING HEIGHTS TO BE CONFIRMED BY ARCHIT.	
3. SEE 1/E1.01 FOR GROUND FL OUTLET/CTRL MTG HEIGHTS	

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REVISIONS:

DATE:	NO.	DESCRIPTION:
-------	-----	--------------

PROJECT NUMBER
21507-00

PROJECT NAME
MEYER RESIDENCE

1 LCR1 ROAD
MONMOUTH BEACH, NJ 07750

PHASE
BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE
EQUIPMENT-FIXTURES-POWER
GROUND FL

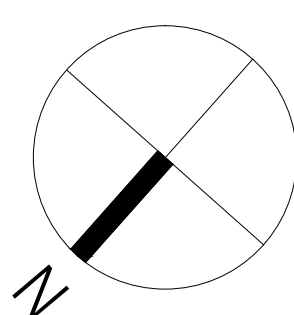
DATE
10/10/2016

SCALE
AS NOTED

SHEET NUMBER
E1.01

2 GROUND FL ELECTRICAL PLAN
1/4" = 1'-0"

1 GRD. FL OUTLET/CONTROL MTG HGTS
1/2" = 1'-0"



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ENGINEER

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REVISIONS:

DATE:	NO.	DESCRIPTION:

PROJECT NUMBER

21507-00

PROJECT NAME

MEYER RESIDENCE

1 LCR1 ROAD
MONMOUTH BEACH, NJ 07750

PHASE

BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE

EQUIPMENT-FIXTURES-POWER
MAIN FLOOR

DATE

10/10/2016

SCALE

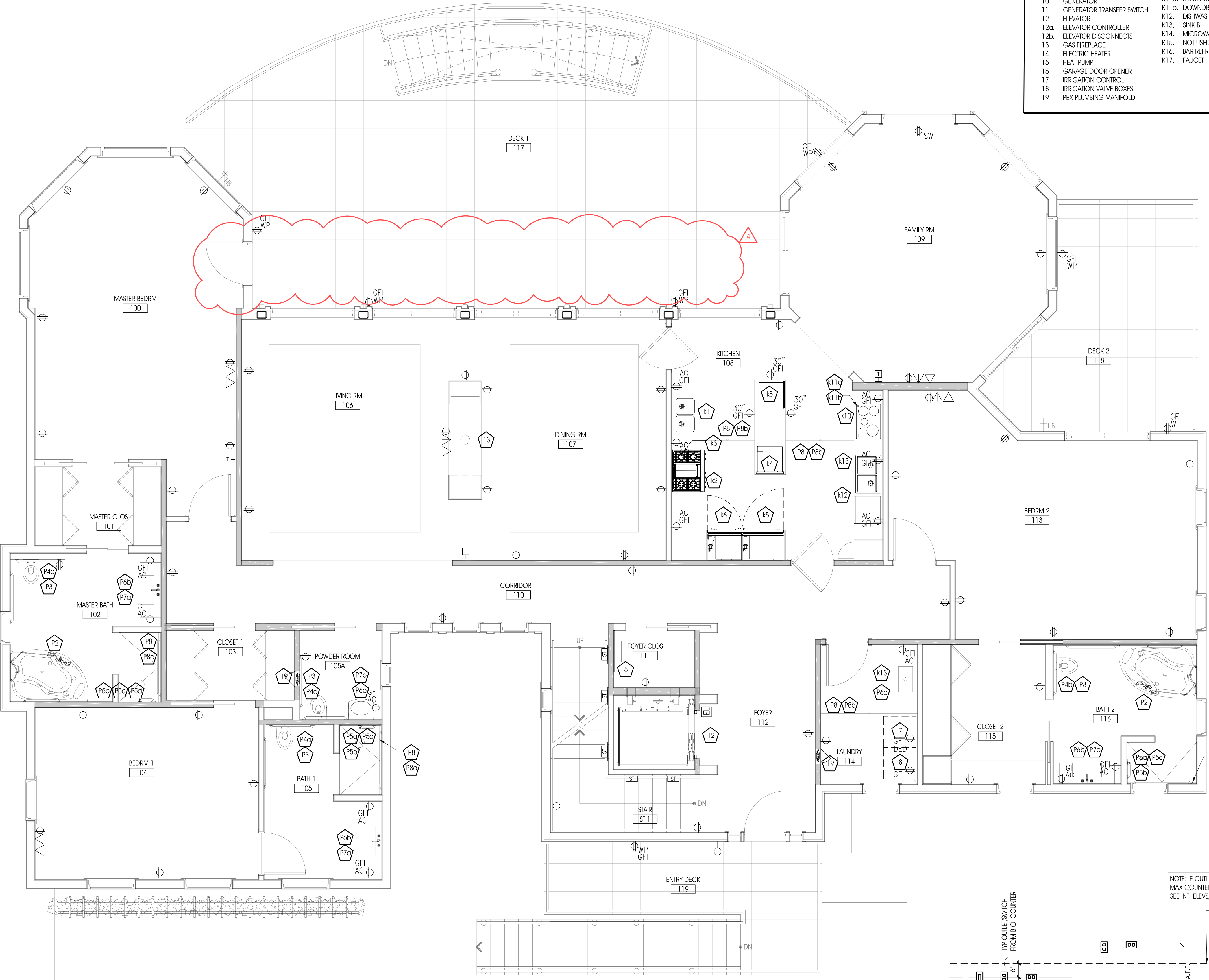
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SHEET NUMBER

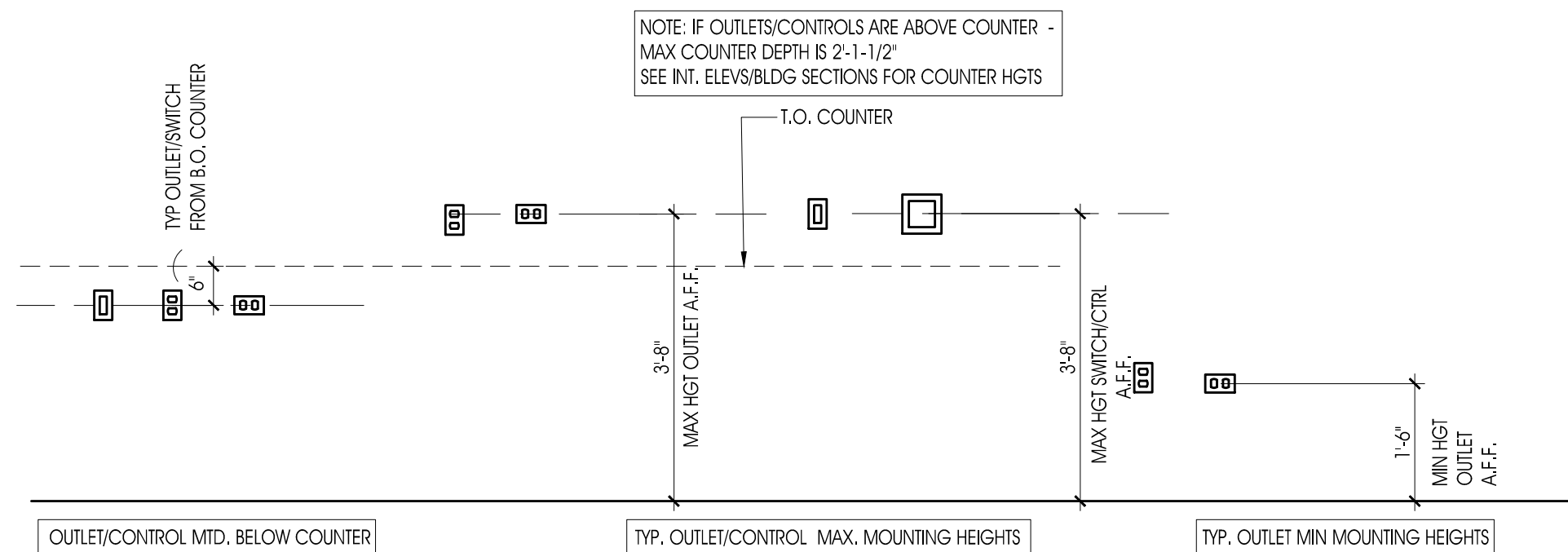
E1.02

EQUIPMT LEGEND					
##	EQUIPMENT	##	KITCHEN EQUIPMENT	##	BATH/UTILITY PLUMBING FIXT
1a.	GAS FURNACE	K1.	SINK A	P1.	MOP SINK
1b.	INDOOR COIL	K2.	GAS RANGE	P2.	COMBO WHIRLPOOL TUB/SHOWER
2.	ELECTRIC METER	K3.	EXHAUST HOOD	P3.	TOILET
3.	GAS METER	K4.	DRAWER MICROWAVE	P4a.	WALL CARRIER (2 X 4 WALL)
4.	ELEC. PANEL (MAIN)	K5.	REFRIGERATOR A	P4b.	WALL CARRIER (2 X 6 WALL)
5.	ELEC. PANEL (SUBPANEL)	K6.	FREEZER	P4c.	WALL CARRIER (PRE-WALL)
6.	WATER HEATER	K7.	NOT USED	P5a.	HANDSHOWER
7.	WASHER	K8.	WARMING DRAWER	P5b.	RAIN HEAD
8.	GAS DRYER	K9.	NOT USED	P5c.	THERMOSTATIC SHOWER SYS. TRIM
9.	A/C CONDENSER	K10.	INDUCTION COOKTOP	P6a.	FAUCET - MOP SINK
10.	GENERATOR	K11a.	DOWNDRAFT RECIRC. MODULE	P6b.	FAUCET - BATHRM SINK
11.	GENERATOR TRANSFER SWITCH	K11b.	DOWNDRAFT VENTILATION FAN	P6c.	FAUCET - LAUNDRY SINK
12.	ELEVATOR	K12.	DISHWASHER	P7a.	SINK
12a.	ELEVATOR CONTROLLER	K13.	SINK B	P7b.	SINK
12b.	ELEVATOR DISCONNECTS	K14.	MICROWAVE	P8.	LINEAR FLOOR DRAIN
13.	GAS FIREPLACE	K15.	NOT USED	P8a.	DRAIN COVER A (STAINLESS STL)
14.	ELECTRIC HEATER	K16.	BAR REFRIGERATOR	P8b.	DRAIN COVER B (TILE IN)
15.	HEAT PUMP	K17.	FAUCET		
16.	GARAGE DOOR OPENER				
17.	IRRIGATION CONTROL				
18.	IRRIGATION VALVE BOXES				
19.	PEX PLUMBING MANIFOLD				

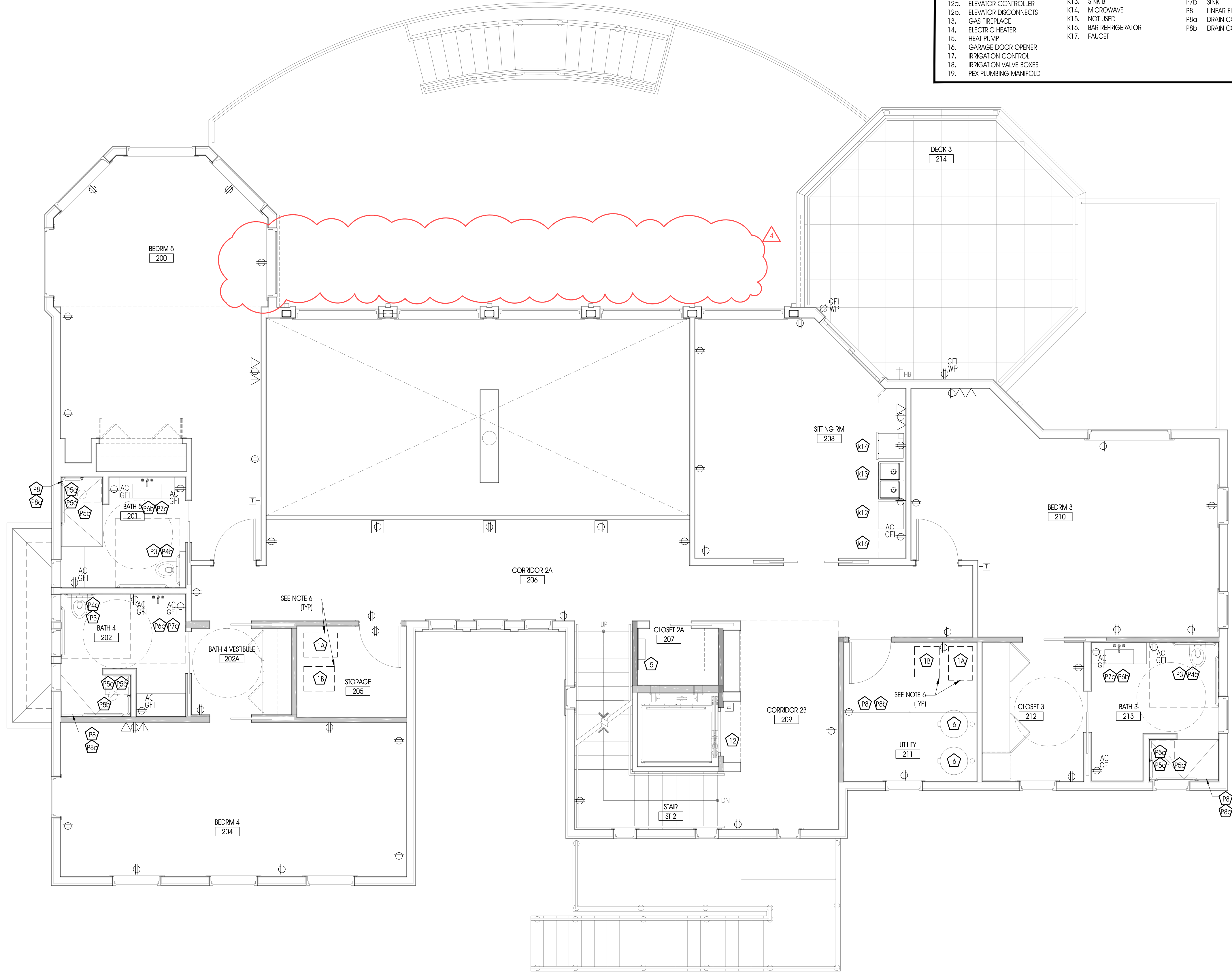
ELECTRIC LEGEND	
\$	SINGLE POLE SWITCH
\$ D	NOTATIONS ON SWITCH TYPES: D = DIMMER SWITCH
M	M = MOTION SENSOR SWITCH
T	T = TIMER SWITCH
3	3 = 3-WAY SWITCH
4	4 = 4-WAY SWITCH
⌚	DOOR JAMB LIGHT SWITCH
⌚	110 V DUPLEX OUTLET
⌚	100 V DUPLEX OUTLET HALF-SWITCHED
⌚	DUPLEX FLOOR OUTLET
⌚	220 V OUTLET
⌚	110 V QUAD OUTLET
⌚ GFI	NOTATIONS ON OUTLET TYPES & HEIGHTS GFI = GROUND FAULT INTERRUPTER
AC	AC = OUTLET LOCATED ABOVE COUNTER
WP	WP = WATERPROOF OUTLET
DED	DED = DEDICATED CIRCUIT
#H	#H = CENTER LINE OF OUTLET HEIGHT ABOVE FIN. FL.
USB	USB = COMBINATION DUPLEX OUTLET & USB CHARGER
SW	SW = SWITCHED OUTLET
HT	THERMOSTAT
▼	PHONE OUTLET
▽	DATA OUTLET
▽	RECESSED SPEAKERS
▽	CABLE TV OUTLET
▽	USB OUTLET
⌚	INT WALL SCOFF
⌚	EXT WALL SCOFF
⌚	SURFACE-MTD CLG LIGHT FIXT
⌚	CEILING FAN
⌚	PENDANT LIGHT FIXT
⌚	RECESSED LIGHT FIXT
⌚	RECESSED WALL WASH LIGHT FIXT
⌚	EXT SPOT (SINGLE)
⌚	EXT (DOUBLE)
⌚	UNDER-CABINET LIGHT FIXT
⌚	TAPE LIGHT FIXT
X'-0" = LENGTH	
ST	RECESSED LINEAR CHANNEL W/ LED TAPE
ST	STEP LIGHT
☯	EXHAUST FAN
SD	SMOKE DETECTOR
SD	SMOKE & CO DETECTOR
SEC	SECURITY CAMERA
SHADE	ELECTRIC WINDOW SHADE
DR	GARAGE DR CONTROL
DR	GARAGE DR OPENER
IRRG	IRRIGATION SYSTEM CONTROL
CH	DOOR CHIME
DB	DOORBELL
EL	ELEVATOR CALL BUTTON
DOOR	ELECTRONIC WINDOW/DOOR OPERATOR
WIND	OPTICAL NETWORK TERMINAL
ONT	BATTERY BACKUP FOR OPTICAL NETWORK TERMINAL
ONTB	CIRCUIT
⌚	CIRCUIT TO SWITCH/OUTLET/LIGHT FIXT
⌚	NOT SHOWN ON THIS PLAN
NOTES:	
1. CEILING HEIGHTS ARE FROM T.O. FIN FL TO B.O. FRAMING	
2. WALL SCOFF MOUNTING HEIGHTS TO BE CONFIRMED BY ARCHT.	
3. SEE 1/E1.01 FOR GROUND FL OUTLET/CTRL MTG HEIGHTS	



2 MAIN FL ELECTRICAL PLAN
1/4" = 1'-0"



1 TYP. OUTLET/CONTROL MTG HGTS
1/2" = 1'-0"



EQUIPMT LEGEND

##	EQUIPMENT	##	KITCHEN EQUIPMENT	##	BATH/UTILITY PLUMBING FIXT
1a.	GAS FURNACE	K1.	SINK A	P1.	MOP SINK
1b.	INDOOR COIL	K2.	GAS RANGE	P2.	COMBO WHIRLPOOL TUB/SHOWER
2.	ELECTRIC METER	K3.	EXHAUST HOOD	P3.	TOILET
3.	GAS METER	K4.	DRAWER MICROWAVE	P4a.	WALL CARRIER (2 X 4 WALL)
4.	ELEC. PANEL (MAIN)	K5.	REFRIGERATOR A	P4b.	WALL CARRIER (2 X 6 WALL)
5.	ELEC. PANEL (SUBPANEL)	K6.	FREEZER	P4c.	WALL CARRIER (PRE-WALL)
6.	WATER HEATER	K7.	NOT USED	P5a.	HANDSHOWER
7.	WASHER	K8.	WARMING DRAWER	P5b.	RAIN HEAD
8.	GAS DRYER	K9.	NOT USED	P5c.	THERMOSTATIC SHOWER SYS. TRIM
9.	A/C CONDENSER	K10.	INDUCTION COOKTOP	P6a.	FAUCET - MOP SINK
10.	GENERATOR	K11a.	DOWNDRAFT RECIRC. MODULE	P6b.	FAUCET - BATHRM SINK
11.	GENERATOR TRANSFER SWITCH	K11b.	DOWNDRAFT VENTILATION FAN	P6c.	FAUCET - LAUNDRY SINK
12.	ELEVATOR	K12.	DISHWASHER	P7a.	SINK
12a.	ELEVATOR CONTROLLER	K13.	SINK B	P7b.	SINK
12b.	ELEVATOR DISCONNECTS	K14.	MICROWAVE	P8.	LINEAR FLOOR DRAIN
13.	GAS FIREPLACE	K15.	NOT USED	P8a.	DRAIN COVER A (STAINLESS STL)
14.	ELECTRIC HEATER	K16.	BAR REFRIGERATOR	P8b.	DRAIN COVER B (TILE IN)
15.	HEAT PUMP	K17.	FAUCET		
16.	GARAGE DOOR OPENER				
17.	IRRIGATION CONTROL				
18.	IRRIGATION VALVE BOXES				
19.	PEX PLUMBING MANIFOLD				

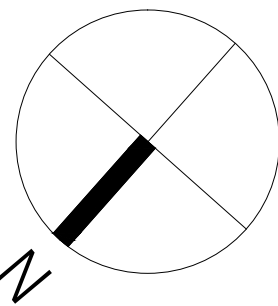
ELECTRIC LEGEND	
\$	SINGLE POLE SWITCH
\$ D	NOTATIONS ON SWITCH TYPES:
\$ D	D = DIMMER SWITCH
\$ M	M = MOTION SENSOR SWITCH
\$ T	T = TIMER SWITCH
\$ 3	3 = 3-WAY SWITCH
\$ 4	4 = 4-WAY SWITCH
⎓	DOOR JAMB LIGHT SWITCH
⌚	110 V DUPLEX OUTLET
⌚	100 V DUPLEX OUTLET HALF-SWITCHED
⌚	DUPLEX FLOOR OUTLET
⌚	220 V OUTLET
⌚	110 V QUAD OUTLET
⌚ GFI	NOTATIONS ON OUTLET TYPES & HEIGHTS
⌚ AC	GFI = GROUND FAULT INTERRUPTER
⌚ WP	AC = OUTLET LOCATED ABOVE COUNTER
⌚ DED	WP = WATERPROOF OUTLET
⌚ USB	DED = DEDICATED CIRCUIT
⌚ SW	## = CENTER LINE OF OUTLET HEIGHT ABOVE FIN. FL.
	USB = COMBINATION DUPLEX OUTLET & USB CHARGER
	SW = SWITCHED OUTLET
⌚	THERMOSTAT
▼	PHONE OUTLET
▽	DATA OUTLET
▽	RECESSED SPEAKERS
▽	CABLE TV OUTLET
▽	USB OUTLET
⌚	INT WALL SCONCE
⌚	EXT WALL SCONCE
⌚	SURFACE-MTD CLG LIGHT FIXT
⌚	CEILING FAN
⌚	PENDANT LIGHT FIXT
⌚	RECESSED LIGHT FIXT
⌚	RECESSED WALL WASH LIGHT FIXT
⌚	EXT SPOT (SINGLE)
⌚	EXT (DOUBLE)
⌚	UNDER-CABINET LIGHT FIXT
⌚	TAPE LIGHT FIXT
⌚	RECESSED LINEAR CHANNEL W/ LED TAPE
⌚	STEP LIGHT
⌚	EXHAUST FAN
⌚	SMOKE DETECTOR
⌚	SMOKE & CO DETECTOR
⌚	SECURITY CAMERA
⌚	ELECTRIC WINDOW SHADE
⌚	GARAGE DR CONTROL
⌚	GARAGE DR OPENER
⌚	IRRIGATION SYSTEM CONTROL
⌚	DOOR CHIME
⌚	DOORBELL
⌚	ELEVATOR CALL BUTTON
⌚	ELECTRONIC WINDOW/DOOR OPERATOR
⌚	OPTICAL NETWORK TERMINAL
⌚	BATTERY BACKUP FOR OPTICAL NETWORK TERMINAL
⌚	CIRCUIT
⌚	CIRCUIT TO SWITCH/OUTLET/LIGHT FIXT NOT SHOWN ON THIS PLAN

NOTES:

1. CEILING HEIGHTS ARE FROM T.O. FIN FL TO B.O. FRAMING

2. WALL SCONCE MOUNTING HEIGHTS TO BE CONFIRMED BY ARCHIT.

3. SEE 1/E1.01 FOR GROUND FL OUTLET/CTRL MTG HEIGHTS



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REVISIONS:

DATE:	NO.	DESCRIPTION:

PROJECT NUMBER

21507-00

PROJECT NAME

MEYER RESIDENCE

1 LORI ROAD
MONMOUTH BEACH, NJ 07750

PHASE

BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE

EQUIPMENT-FIXTURES-POWER
SECOND FLOOR

DATE

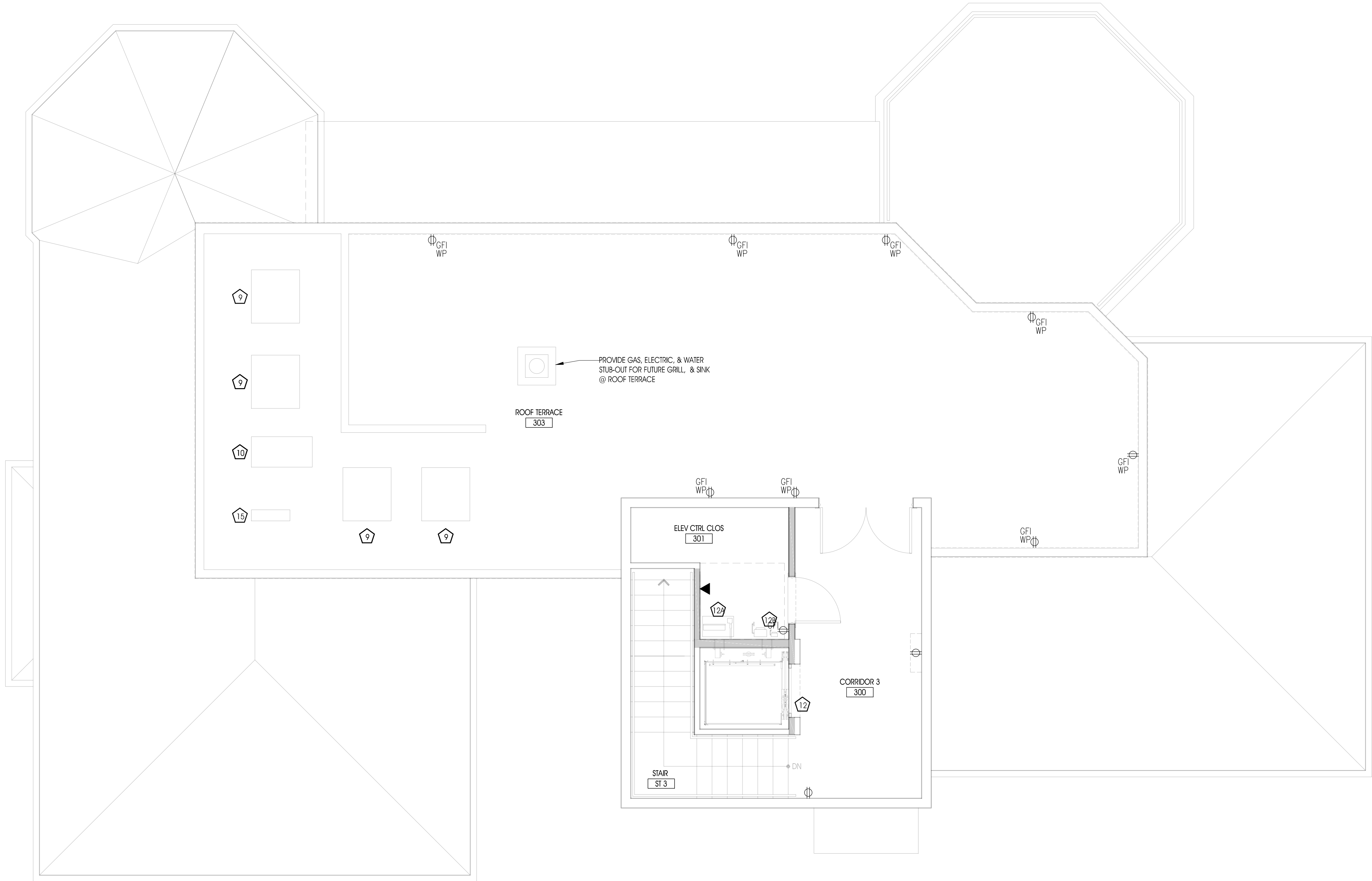
10/10/2016

SCALE

1/4"=1'-0"

SHEET NUMBER

E1.03



EQUIPMT LEGEND

##	EQUIPMENT	##	KITCHEN EQUIPMENT	##	BATH/UTILITY PLUMBING FIXT
1a.	GAS FURNACE	K1.	SINK A	P1.	MOP SINK
1b.	INDOOR COIL	K2.	GAS RANGE	P2.	COMBO WHIRLPOOL TUB/SHOWER
2.	ELECTRIC METER	K3.	EXHAUST HOOD	P3.	TOILET
3.	GAS METER	K4.	DRAWER MICROWAVE	P4a.	WALL CARRIER (2 X 4 WALL)
4.	ELEC. PANEL (MAIN)	K5.	REFRIGERATOR A	P4b.	WALL CARRIER (2 X 6 WALL)
5.	ELEC. PANEL (SUBPANEL)	K6.	FREEZER	P4c.	WALL CARRIER (PRE-WALL)
6.	WATER HEATER	K7.	NOT USED	P5a.	HANDSHOWER
7.	WASHER	K8.	WARMING DRAWER	P5b.	RAIN HEAD
8.	GAS DRYER	K9.	NOT USED	P5c.	THERMOSTATIC SHOWER SYS. TRIM
9.	A/C CONDENSER	K10.	INDUCTION COOKTOP	P6a.	FAUCET - MOP SINK
10.	GENERATOR	K11a.	DOWNDRAFT RECIRC. MODULE	P6b.	FAUCET - BATHRM SINK
11.	GENERATOR TRANSFER SWITCH	K11b.	DOWNDRAFT VENTILATION FAN	P6c.	FAUCET - LAUNDRY SINK
12.	ELEVATOR	K12.	DISHWASHER	P7a.	SINK
12a.	ELEVATOR CONTROLLER	K13.	SINK B	P7b.	SINK
12b.	ELEVATOR DISCONNECTS	K14.	MICROWAVE	P8.	LINEAR FLOOR DRAIN
13.	GAS FIREPLACE	K15.	NOT USED	P8a.	DRAIN COVER A (STAINLESS STL)
14.	ELECTRIC HEATER	K16.	BAR REFRIGERATOR	P8b.	DRAIN COVER B (TILE IN)
15.	HEAT PUMP	K17.	FAUCET		
16.	GARAGE DOOR OPENER				
17.	IRRIGATION CONTROL				
18.	IRRIGATION VALVE BOXES				
19.	PEX PLUMBING MANIFOLD				

ELECTRIC LEGEND

\$	SINGLE POLE SWITCH
\$	NOTATIONS ON SWITCH TYPES:
D	D = DIMMER SWITCH
M	M = MOTION SENSOR SWITCH
T	T = TIMER SWITCH
3	3 = 3-WAY SWITCH
4	4 = 4-WAY SWITCH
—	DOOR JAMB LIGHT SWITCH
⌀	110 V DUPLEX OUTLET
⌀	100 V DUPLEX OUTLET HALF-SWITCHED
⌀	DUPLEX FLOOR OUTLET
⌀ ₂₂₀	220 V OUTLET
⌀	110 V QUAD OUTLET
⌀ _{GFI}	NOTATIONS ON OUTLET TYPES & HEIGHTS
AC	GFI = GROUND FAULT INTERRUPTER
WP	AC = OUTLET LOCATED ABOVE COUNTER
DED	WP = WATERPROOF OUTLET
DED	DED = DEDICATED CIRCUIT
USB	# = CENTER LINE OF OUTLET HEIGHT ABOVE FIN. FL.
SW	USB = COMBINATION DUPLEX OUTLET & USB CHARGER
	SW = SWITCHED OUTLET
—	THERMOSTAT
▼	PHONE OUTLET
▽	DATA OUTLET
▽	RECESSED SPEAKERS
▽	CABLE TV OUTLET
▽	USB OUTLET
—	INT WALL SCONCE
—	EXT WALL SCONCE
⊕	SURFACE-MTD CLG LIGHT FIXT
⊗	CEILING FAN
●	PENDANT LIGHT FIXT
⊙	RECESSED LIGHT FIXT
●	RECESSED WALL WASH LIGHT FIXT
⊗	EXT SPOT (SINGLE)
⊕	EXT (DOUBLE)
—	UNDER-CABINET LIGHT FIXT
—	TAPE LIGHT FIXT
—	RECESSED LINEAR CHANNEL W/ LED TAPE
—	STEP LIGHT
—	EXHAUST FAN
—	SMOKE DETECTOR
—	SMOKE & CO DETECTOR
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—	ELECTRIC WINDOW SHADE
—	GARAGE DR CONTROL
—	GARAGE DR OPENER
—	IRRIGATION SYSTEM CONTROL
—	DOOR CHIME
—	DOORBELL
—	ELEVATOR CALL BUTTON
—	ELECTRONIC WINDOW/DOOR OPERATOR
—	OPTICAL NETWORK TERMINAL
—	BATTERY BACKUP FOR OPTICAL NETWORK TERMINAL
—	CIRCUIT
—	CIRCUIT TO SWITCH/OUTLET/LIGHT FIXT NOT SHOWN ON THIS PLAN

- NOTES:
1. CEILING HEIGHTS ARE FROM F.O. FIN FL TO B.O. FRAMING
 2. WALL SCONCE MOUNTING HEIGHTS TO BE CONFIRMED BY ARCHT.
 3. SEE 1/E1.01 FOR GROUND FL OUTLET/CTRL MTG HEIGHTS
 4. SEE 1/E1.02 FOR TYPICAL OUTLET/CTRL MTG HEIGHTS
 5. WALL-MOUNTED ELEC HEATER TO BE MIN 3'-0" A.F.F.
 6. INDOOR COIL & GAS FURNACE TO BE CEILING HUNG. SEE EQUIPMT PLAN

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REVISIONS:		
DATE:	NO.	DESCRIPTION:

PROJECT NUMBER

21507-00

PROJECT NAME

MEYER RESIDENCE

1 LCR1 ROAD
MONMOUTH BEACH, NJ 07750

PHASE

BLDG PERMIT &
CONSTRUCTION

SEAL

DRAWING TITLE

EQUIPMENT-FIXTURES-POWER
ROOF DECK

DATE

10/10/2016

SCALE

1/4"=1'-0"

SHEET NUMBER

E1.04

