

## SITE DATA

1. **OWNER/DEVELOPER** EMERALD LAND DEVELOPMENT, LLC  
1720 EAST CARY STREET  
RICHMOND, VA 23223

PHONE: (804) 775-0888  
FAX: (804) 775-0868  
CONTACT: MARK REMPE  
E-MAIL: MARKREMPE@EMERALDASSOCIATESINC.COM

2. **ENGINEER** BALZER & ASSOCIATES, INC.  
15871 CITY VIEW DRIVE, SUITE 200  
MIDLOTHIAN, VA 23113

PHONE: (804) 794-0571  
FAX: (804) 794-2635  
CONTACT: CAMERON PALMORE  
E-MAIL: CPALMORE@BALZER.CC

3. **GPIN # (S)** 810-719-9594

4. **ACREAGE**

A. TOTAL ACREAGE	13.2±	N/A
B. ACREAGE IN RIGHT-OF-WAY		N/A
C. ACREAGE IN COMMON AREA		N/A
D. ACREAGE IN LOTS	13.2±	
E. ACREAGE IN FLOOD HAZARD AREA	2.96	

5. **ZONING** R-3 & C-1

6. **BLOCK** A **LOTS** 8

7. **PREVIOUS APPROVAL**

A. POD#	N/A
B. ADMINISTRATIVE #	N/A
C. ZONING CASE #	N/A
D. VARIANCE (BZA) CASE #	N/A
E. PROVISIONAL USE PERMIT #	N/A
F. SPECIAL EXCEPTION (CONDITIONAL USE) #	N/A

8. **UTILITIES**

COUNTY WATER	YES	NO
COUNTY SEWER	✓	
WELL		
SEPTIC		
OTHER		

9. **SPECIAL FLOOD HAZARD AREA INFORMATION**  
SPECIAL FLOOD HAZARD AREA (FLOODPLAIN)

YES ✓ NO

FLOOD ZONE "AE & X" PER FEMA COMMUNITY PANEL #51087C 0165  
C EFFECTIVE DATE DECEMBER 18, 2007.

ENTIRE SITE LIES WITH IN AN RMA.

THESE WATER AND SEWER PLANS COMPLY WITH THE REQUIREMENTS OF THE PLANNING COMMISSION'S APPROVAL DATED: 2-27-08, FOR THIS SUBDIVISION. PROPOSED EASEMENTS AND UTILITY ALIGNMENTS ARE AS SHOWN ON THE SUBDIVISION PLAT. NO BMP'S, BERMS, LIGHTING, TREES OR OTHER STRUCTURES SHALL BE PLACED IN WATER OR SEWER EASEMENTS. ANY EXCEPTIONS TO THE STANDARDS OR ANY PROFFERS THAT APPLY TO AREAS OF PROPOSED WATER AND SEWER EASEMENTS ARE LISTED AS FOLLOWS: NONE

PROJECT IS GRANDFATHERED PER 9VAC25-810-48. THIS PROJECT SHALL BE SUBJECT PART IIC TECHNICAL CRITERIA. SEE CONDITIONAL APPROVAL LETTER ON SHEET 12.1

## BUILDING PERMIT SPECIAL REQUIREMENTS

1. ALL AREAS OF REQUIRED GRADING (INCLUDING LOW-LYING AREAS, WETLANDS TO BE IMPACTED, AND DRAINAGE SWALES), AS INDICATED ON THE PLANS, SHALL BE CONSTRUCTED CONCURRENTLY WITH THE ROAD CONSTRUCTION. CERTIFICATION OF THE CONSTRUCTION BY THE ENGINEER OF RECORD IS REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR LOTS IDENTIFIED AS NBP1 (NO BUILDING PERMIT). THE REQUIRED CERTIFICATION MUST BE ATTACHED TO THE BUILDING PERMITS FOR THESE LOTS.

BLOCK A LOTS 1 - 8

2. ALL LOTS THAT INCLUDE STORM SEWER, IDENTIFIED AS NBP2, ARE REQUIRED TO HAVE A CERTIFIED PLAT SUBMITTED BY THE ENGINEER OF RECORD AT THE TIME OF BUILDING PERMIT APPLICATION WHICH IDENTIFIES THE LOCATION OF THE STORM SEWER EASEMENT AND DRAINAGE IMPROVEMENTS. (NOTE: LOTS NOT BUILT ON BY THE TIME OF ROAD ACCEPTANCE MUST HAVE OUTFALLS STAKED AND FLAGGED FOR REVIEW PRIOR TO ROAD ACCEPTANCE.) THE REQUIRED CERTIFIED PLAT MUST BE ATTACHED TO THE BUILDING PERMITS FOR THESE LOTS.

BLOCK A LOTS 5 - 6

3. ALL LOTS IDENTIFIED AS NBP3 SHALL HAVE BUILDING PERMITS DELAYED DUE SEDIMENT BASINS/TRAPS BEING LOCATED ON OR ADJACENT TO THE LOT.

BLOCK A LOTS 4 - 6

4. LOTS THAT CONTAIN RPA, SPA, AND/OR WETLANDS REQUIRE ENVIRONMENTAL PROTECTION AREA SIGNS THAT MUST BE INSTALLED PRIOR TO THE PRE-CONSTRUCTION MEETING.

BLOCK A LOTS 1 - 8

5. THE OVERALL LOT DRAINAGE MAP, INCLUDED IN THE PLANS, SHOWING FLOW DIRECTION ARROWS, MINIMUM FINISHED FLOOR ELEVATIONS (MFF), AND LOCATION OF DRAINAGE IMPROVEMENTS AND/OR A DETAILED LOT GRADING PLAN WITH MFF MUST ACCOMPANY A BUILDING PERMIT FOR EACH LOT.

NOTE: ALL GRADING, INCLUDING PROPOSED LOT GRADING, SHALL BE PERFORMED AT THE TIME OF ROAD CONSTRUCTION

## SHEET INDEX

- COVER SHEET
- LAYOUT AND BUILDABLE AREA PLAN
- UTILITY PLAN
- ROAD IMPROVEMENT PLAN & PROFILES
- UTILITY PROFILES
- EROSION CONTROL PLAN
- ENVIRONMENTAL NOTES, MS-19 TABLE
- ENVIRONMENTAL NOTES & DETAILS
- DRAINAGE AREA MAP
- LOT DRAINAGE MAP
- LOT GRADING
- ROAD WIDENING
- ROAD WIDENING
- ROAD WIDENING
- MS-19 CROSS SECTIONS
- UTILITY NOTES & DETAILS
- NOTES, DETAILS & CALCULATIONS
- APPROVAL LETTERS
- CONSTRUCTION NOTES & DETAILS
- POLLUTION PREVENTION PLAN

## SUBDIVISION BOND QUANTITIES

(PUBLIC WORKS)

36" CLASS III RCP	85 L.F.
29"x45" CLASS III RCP	322 L.F.
MH-1	3 EA.
DI-4CC, L=8', W/ST-1 & IS-1	1 EA.
EW-2	1 EA.
CLASS III ROAD WAY	765 L.F.
HENRICO COUNTY STD. CURB & GUTTER	765 L.F.
4' SIDEWALK	712 L.F.

## TRAFFIC IMPACT STUDY

☒ DOES NOT REQUIRE SUBMISSION OF A TRAFFIC STUDY FOR THIS PROPOSED PLAN.

- AM PEAK HOUR WEEKDAY TRIP GENERATION: 14.08 (ENTER/EXIT)
- PM PEAK HOUR WEEKDAY TRIP GENERATION: 14.08 (ENTER/EXIT)
- VEHICLE TRIPS PER WEEKDAY: 80

☐ DOES REQUIRE SUBMISSION OF A TRAFFIC STUDY FOR THIS PROPOSED PLAN PER TRAFFIC ENGINEERING.

## EROSION CONTROL QUANTITIES

(FOR BOND PURPOSES ONLY)

CE	CONSTRUCTION ENTRANCE STD&SPEC	3.02	1 EA.
IP	INLET PROTECTION STD&SPEC	3.07	2 EA.
OP	OUTLET PROTECTION STD&SPEC	3.18	2 EA.
SF	SILT FENCE STD&SPEC	3.05-2	1785 L.F.
SSF	SILT FENCE STD&SPEC	3.05-1	311 L.F.
SAF	SAFETY FENCE STD&SPEC	3.01	228 L.F.
DD	TEMPORARY DIVERSION DIKE STD&SPEC	3.09	381 L.F.
PS	PERMANENT SEEDING STD&SPEC	3.32	0.27 AC.
TS	TEMPORARY SEEDING STD&SPEC	3.31	3.40 AC.
ST	TEMPORARY SEDIMENT TRAP STD&SPEC	3.13	432 C.Y.
TP	TREE PROTECTION TAPE	3.38	144 L.F.
SFO	SILT FENCE OUTLET		1 EA.

ENVIRONMENTAL PROTECTION AREA SIGN 17 EA.  
LIMITS OF LAND DISTURBANCE = 4.00 ACRES  
STOCK PILE = 309 CY

ALL WATER SERVICE ACCESSORIES AND FITTINGS SHALL BE LEAD-FREE IN COMPLIANCE WITH SECTION 1417 OF THE SAFE DRINKING WATER ACT, AND NSF 61 APPROVED.

## TOPOGRAPHY

SOURCES: FIELD SURVEY BY BALZER & ASSOCIATES, INC  
15871 CITY VIEW DRIVE  
MIDLOTHIAN, VA 23113  
(804) 794-0571  
HENRICO COUNTY GIS

SURVEY DATE: FEBRUARY 29, 2008  
RESPONSIBLE PARTY: MARK BEALL  
TOPO USES HENRICO COUNTY SURVEY MONUMENTS 77R/77A

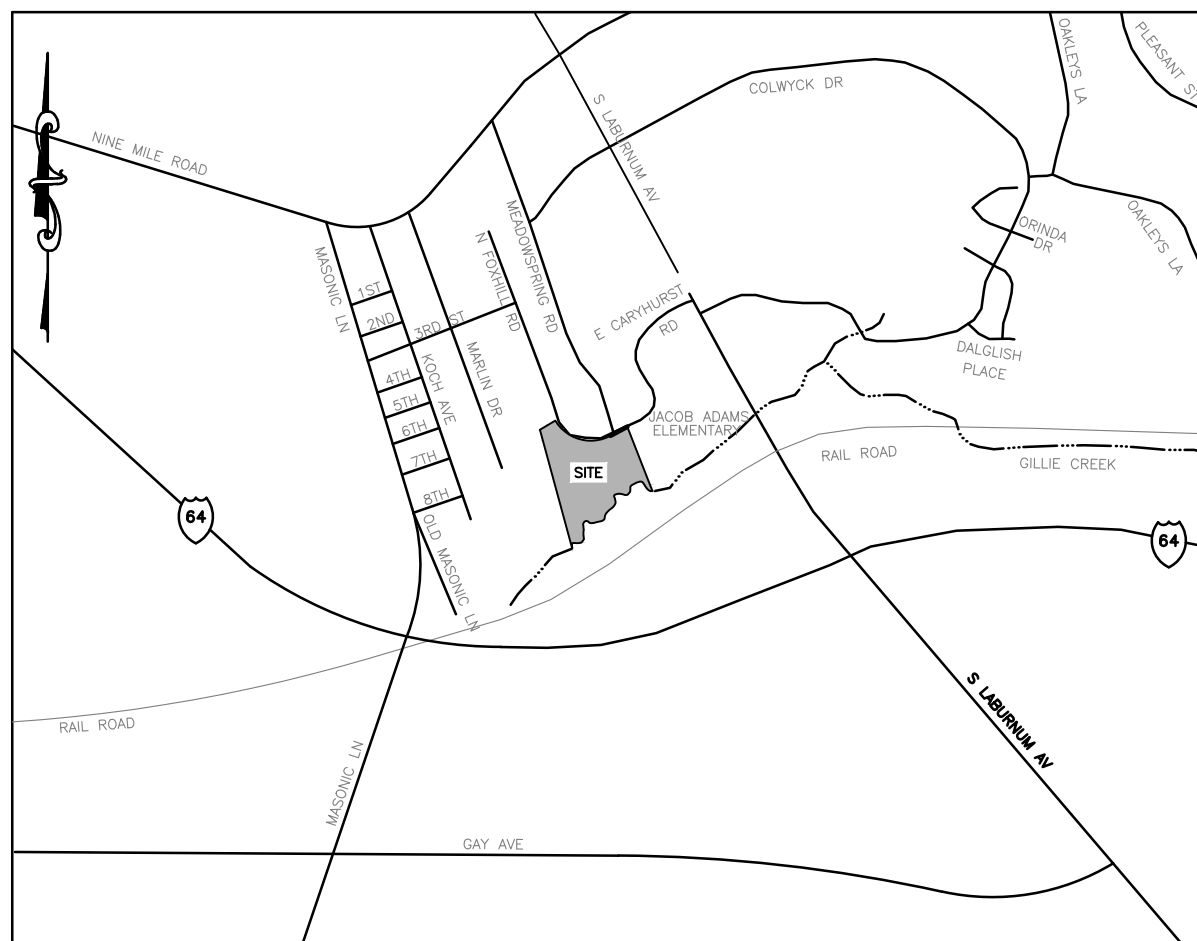
## EXCEPTIONS GRANTED

DATE	DEPT(S)	DESCRIPTION
2/27/08	DPW	CURB AND GUTTER TO BE PROVIDED, SIDEWALK TO BE PROVIDED

# FOXHILL CROSSING

## SUBDIVISION CONSTRUCTION & UTILITY PLANS

## VARINA DISTRICT HENRICO COUNTY, VIRGINIA



## VICINITY MAP

SCALE 1" = 2000'

**ENGINEER'S CERTIFICATION**  
TO THE BEST OF MY KNOWLEDGE, THIS PLAN SATISFIES ALL ZONING CODE REQUIREMENTS, CONDITIONS OF APPROVAL, AND PROFFERS.

SIGNATURE

IN ACCORDANCE WITH SEC. 10-36 OF THE CODE OF THE COUNTY OF HENRICO, I HEREBY CERTIFY THAT I AM THE RESPONSIBLE LAND DISTURBER FOR THIS PROJECT AND THAT I HAVE A VALID CERTIFICATION FROM THE STATE OF VIRGINIA.

SIGNATURE

NAME (PRINT)

DATE

## REVISIONS TO APPROVED PLANS

NO.	DATE	DESCRIPTION

## DEPARTMENT OF PLANNING APPROVAL BLOCK

APPROVED BY THE HENRICO COUNTY  
DEPARTMENT OF PLANNING

DATE

☐ COUNTY PLANNER  
☐ PRINCIPAL PLANNER  
☐ DIRECTOR

☐ THIS APPROVAL ENCOMPASSES ONLY THOSE REVISIONS NOTED IN THE LETTER OF APPROVAL.

☐ AS INDICATED IN RED

YES NO  
☐ ☐ 10 DAY EXPEDITED  
SIGNATURE PROCESS

## DEPARTMENT OF PUBLIC UTILITIES POD APPROVAL

FOR WATER AND SANITARY SEWER ONLY, SUBJECT TO COUNTY SPECIFICATIONS.

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL FOR WATER AND SEWERS EXPIRES: \_\_\_\_\_

THESE PLANS ARE NOT APPROVED FOR WATER AND SANITARY SEWER CONSTRUCTION UNTIL THIS BLOCK IS SIGNED

NOTE:  
WATER AND SEWER SYSTEMS FOR THIS PROJECT WILL BE ACCEPTED AND WATER METERS WILL BE SET AFTER ADJACENT UTILITIES TO WHICH THEY CONNECT HAVE BEEN ACCEPTED BY THE COUNTY FOR OPERATION.

D.P.U. #

## DEPARTMENT OF PUBLIC WORKS APPROVAL BLOCK

### DIRECTOR OF PUBLIC WORKS

DATE

DATE

DESIGN ENGINEER

DATE

ENVIRONMENTAL ENGINEER

DATE

TRAFFIC ENGINEER

DATE

ENVIRONMENTAL INSPECTOR

☐

AS INDICATED IN RED

D.P.W. #

DISTRIBUTION BY DTW:

\_\_\_\_ PUBLIC UTILITIES (5) \_\_\_\_\_ ENGINEER  
\_\_\_\_ PERMIT CENTER \_\_\_\_\_ FIRE  
\_\_\_\_ EASTERN GOVERNMENT CENTER

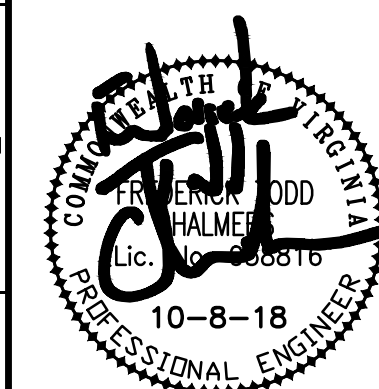


Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

15871 City View Drive  
Suite 200  
Midlothian, VA 23113  
804-794-0571  
FAX 804-794-2635



FOXHILL CROSSING  
SUBDIVISION  
COVER SHEET

VARINA DISTRICT  
HENRICO COUNTY, VIRGINIA

DRAWN BY BMS

DESIGNED BY BMS

CHECKED BY FCP

DATE 4-2-08

SCALE N/A

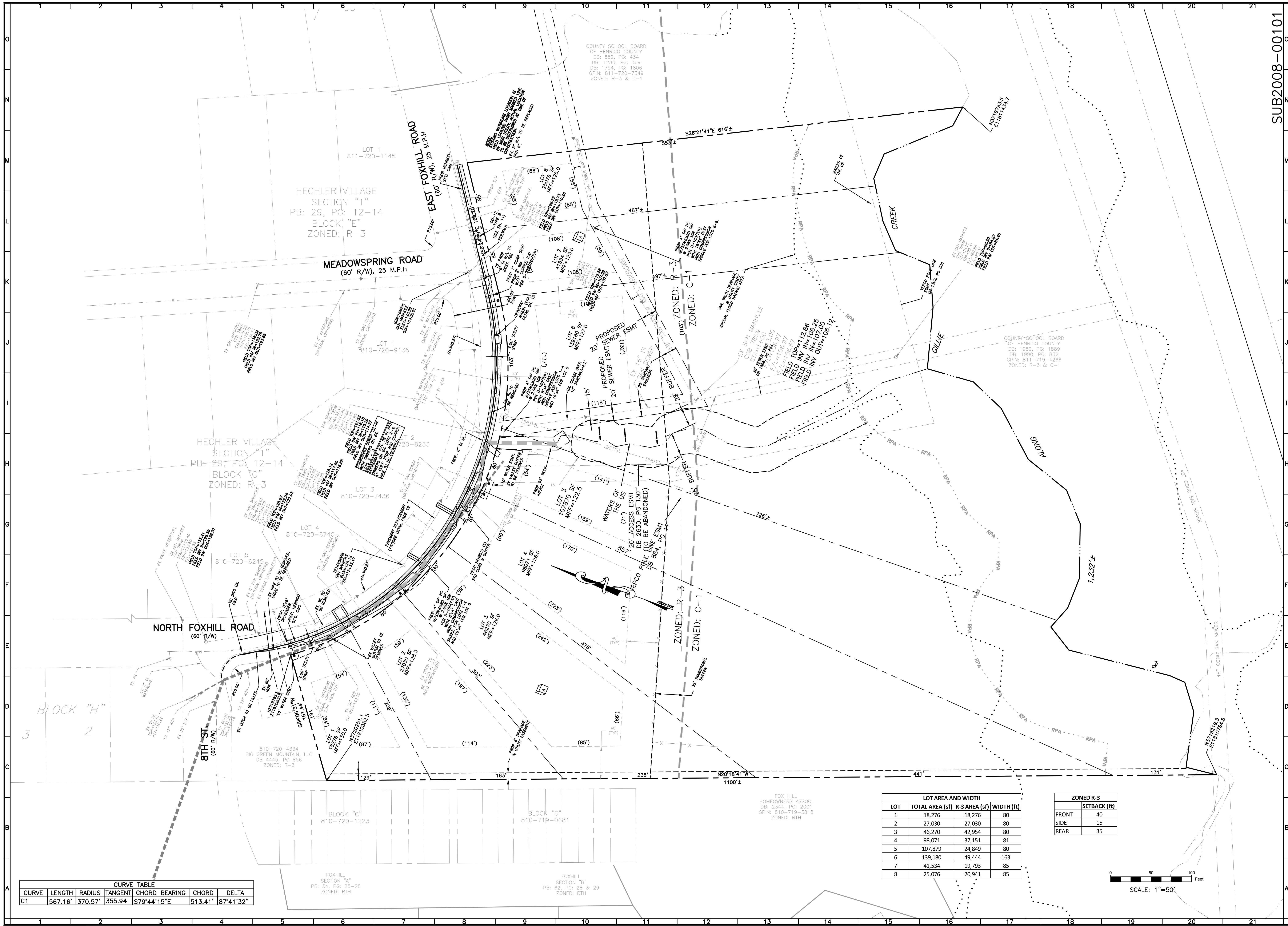
REVISIONS:

6-11-08  
7-10-08  
8-7-08  
7-7-17  
10-3-17  
01-19-18  
03-05-18  
10-8-18

SHEET NO.

1 of 14

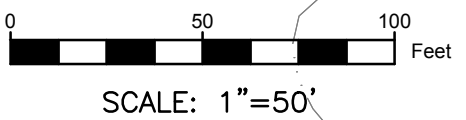
JOB NO. C0700426.01



CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD BEARING	DELTA
C1	567.16'	370.57'	355.94'	S79°44'15"E	513.41' 87°41'32"

LOT AREA AND WIDTH			
LOT	TOTAL AREA (sf)	R-3 AREA (sf)	WIDTH (ft)
1	18,276	18,276	80
2	27,030	27,030	80
3	46,270	42,954	80
4	98,071	37,151	81
5	107,879	24,849	80
6	139,180	49,444	163
7	41,534	19,793	85
8	25,076	20,941	85

ZONED R-3	
SETBACK (ft)	
FRONT	40
SIDE	15
REAR	35



**BALZER**  
AND ASSOCIATES, INC.  
REFLECTING TOMORROW  
[www.balzer.cc](http://www.balzer.cc)

Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

**Balzer and Associates, Inc.**  
15871 City View Drive  
Suite 200  
Midlothian, VA 23113  
804-794-0571  
FAX 804-794-2635

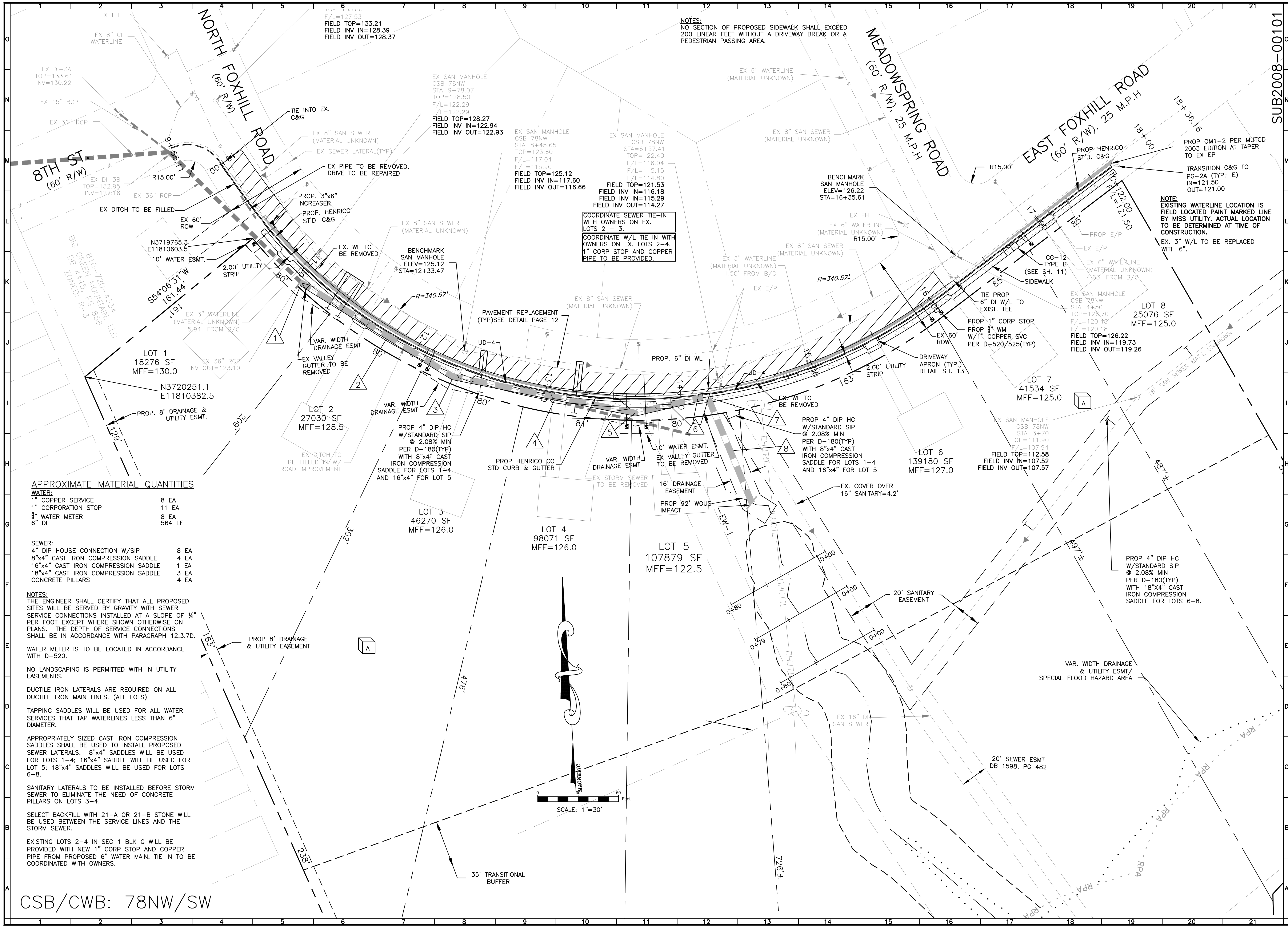


**FOXHILL CROSSING**  
SUBDIVISION  
**LAYOUT AND BUILDABLE AREA PLAN**  
VARINA DISTRICT  
HENRICO COUNTY, VIRGINIA

DRAWN BY BMS  
DESIGNED BY BMS  
CHECKED BY FCP  
DATE 4-2-08  
SCALE 1"=50'

REVISIONS:  
6-11-08  
7-10-08  
8-7-08  
7-7-17  
8-31-17  
10-6-17  
01-17-18  
03-05-18  
10-8-18





www.balzer.cc

Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

**Balzer and Associates, Inc.**

15871 City View Drive  
Suite 200  
Midlothian, VA 23113  
804-794-0571  
FAX 804-794-2635

**FOXHILL CROSSING**  
SUBDIVISION  
**UTILITY PLAN**

VARINA DISTRICT  
HENRICO COUNTY, VIRGINIA

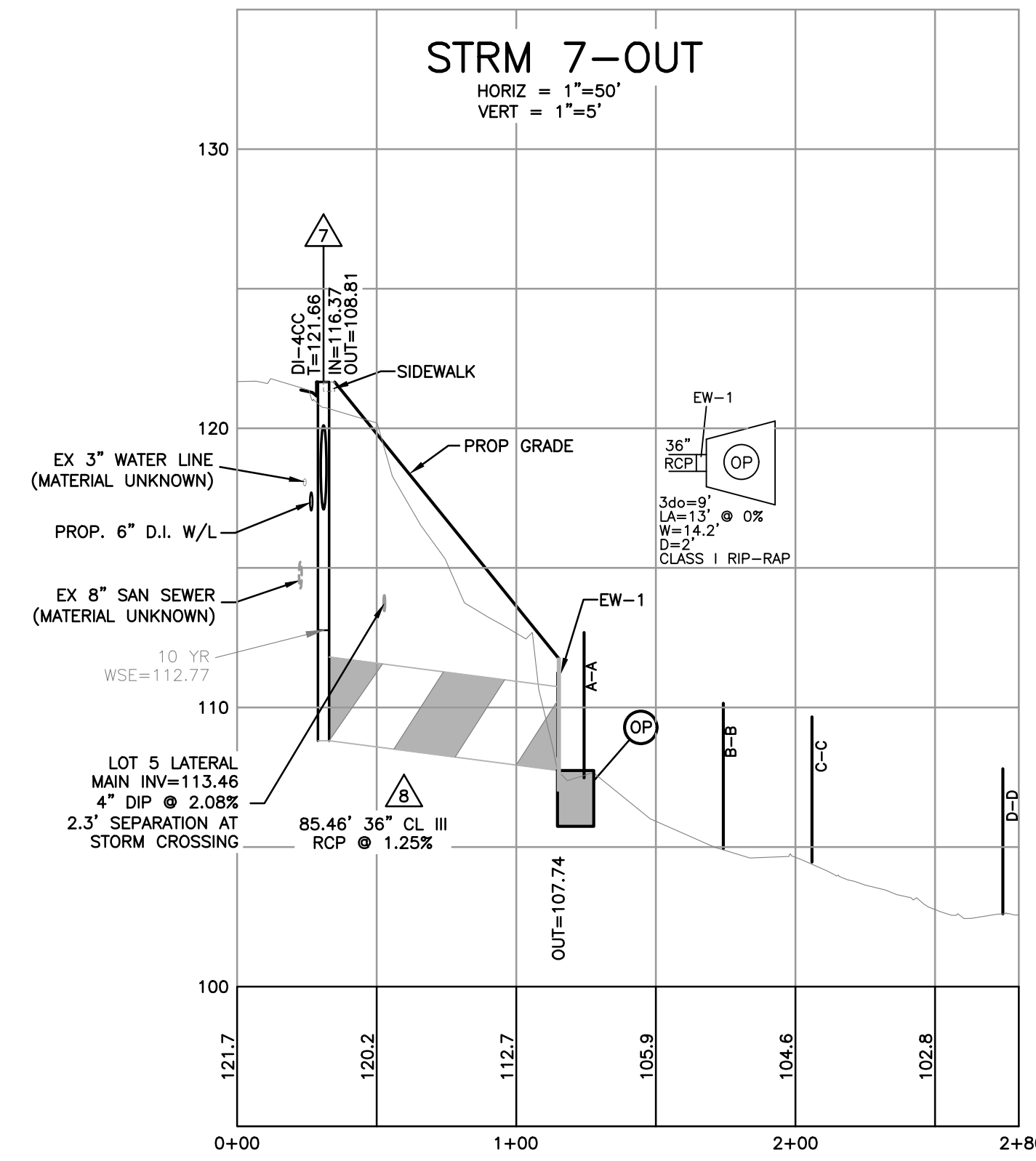
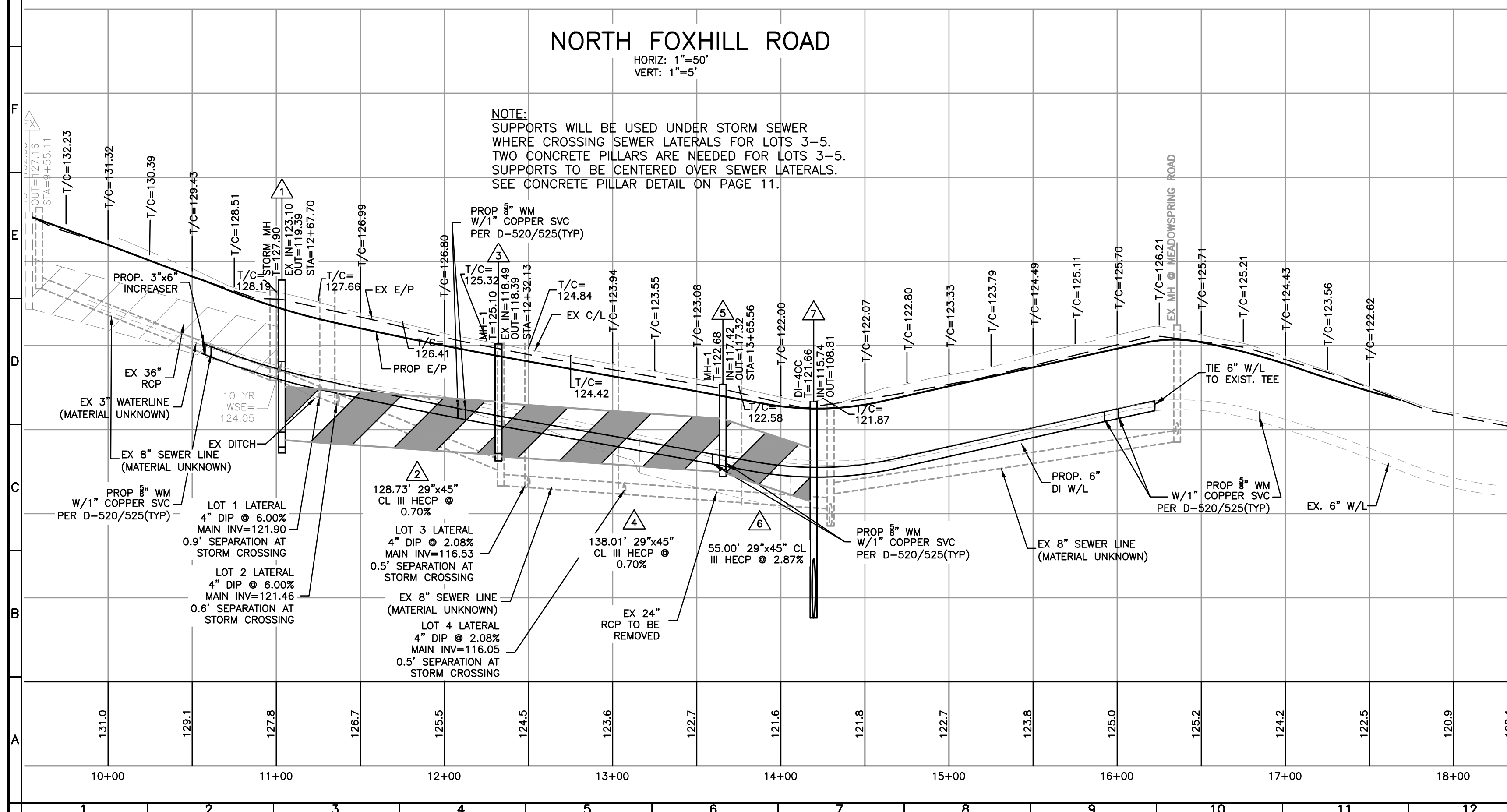
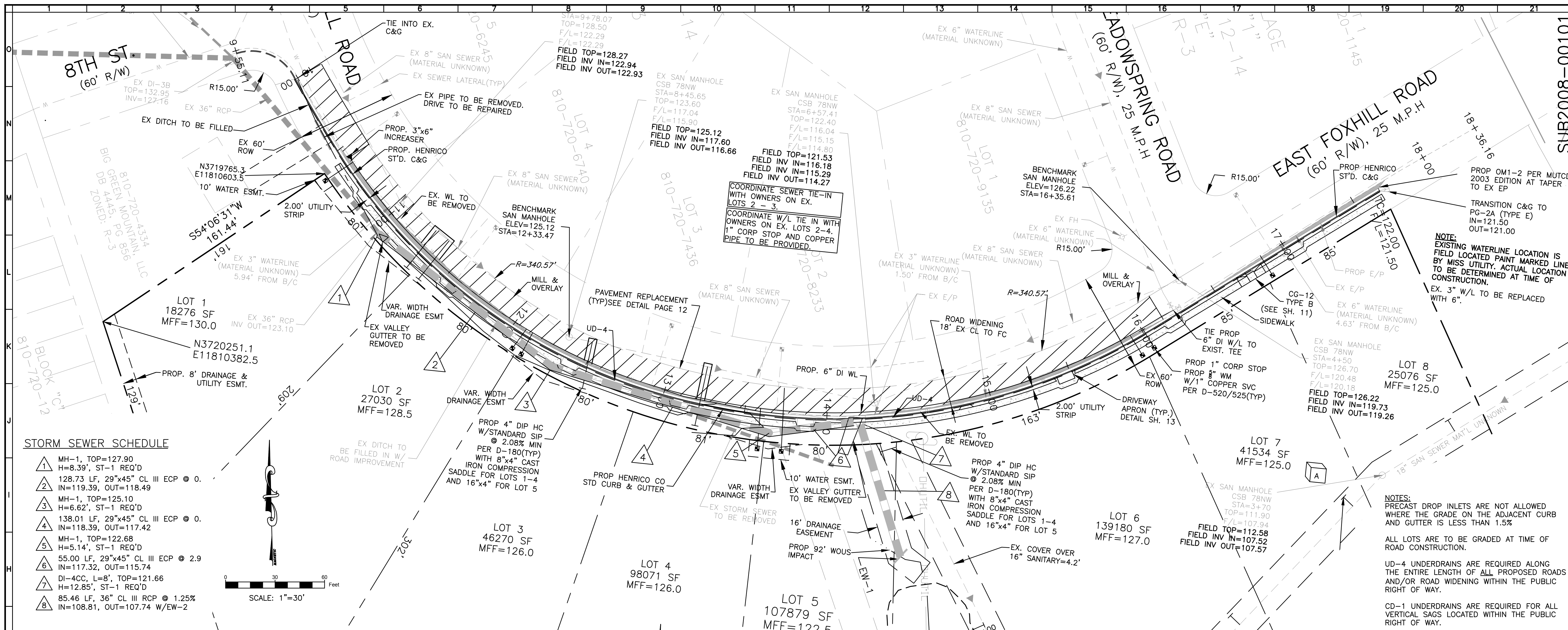
DRAWN BY BMS  
DESIGNED BY BMS  
CHECKED BY FCP  
DATE 4-2-08  
SCALE 1"=30'

REVISIONS:  
6-11-08  
7-10-08  
8-7-08  
7-7-17  
10-3-17  
01-17-18  
03-05-18  
10-8-18

SHEET NO.  
**3 of 14**

JOB NO. C0700426.01





www.balzer.cc

Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

**Balzer and Associates, Inc.**  
 15871 City View Drive  
 Suite 200  
 Midlothian, VA 23113  
 804-794-0571  
 FAX 804-794-2635

**FOXHILL CROSSING**  
 SUBDIVISION

**ROAD IMPROVEMENT PLAN & PROFILES**

VARINA DISTRICT  
 HENRICO COUNTY, VIRGINIA

DRAWN BY BMS  
 DESIGNED BY BMS  
 CHECKED BY FCP  
 DATE 4-2-08  
 SCALE AS NOTED

REVISIONS:  
 6-11-08  
 7-10-08  
 8-7-08  
 7-7-07  
 8-31-17  
 01-17-18  
 03-05-18  
 10-8-18

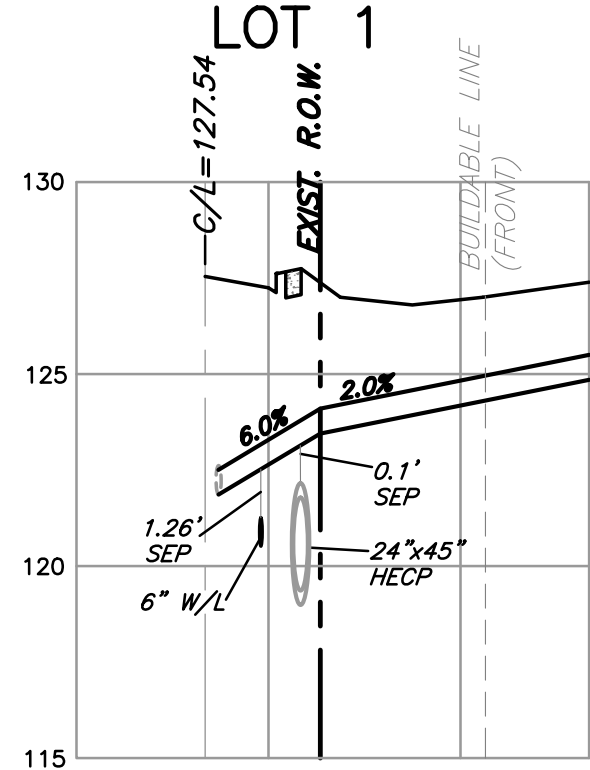
SHEET NO.  
**4 of 14**

JOB NO. C0700426.01

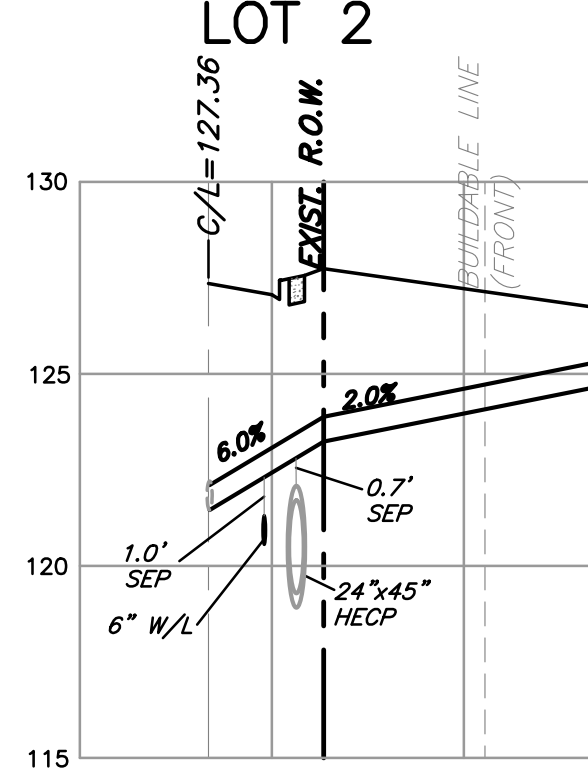


SCALE:  
VERT: 1" = 5'  
HORIZ: 1" = 50'

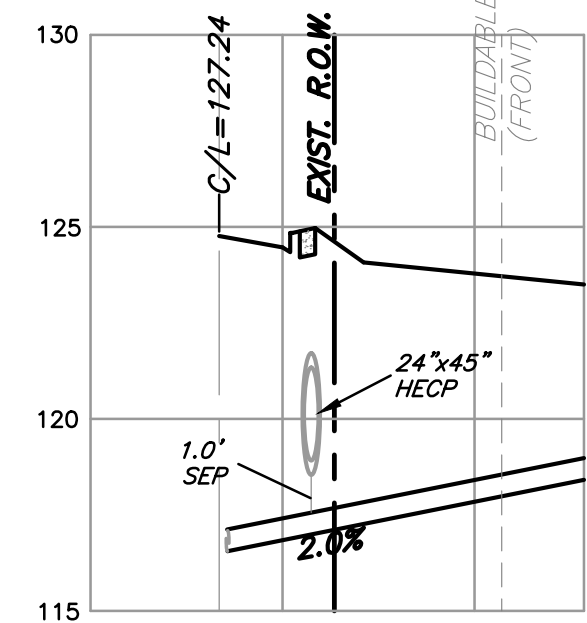
SANITARY LATERAL  
LOT 1



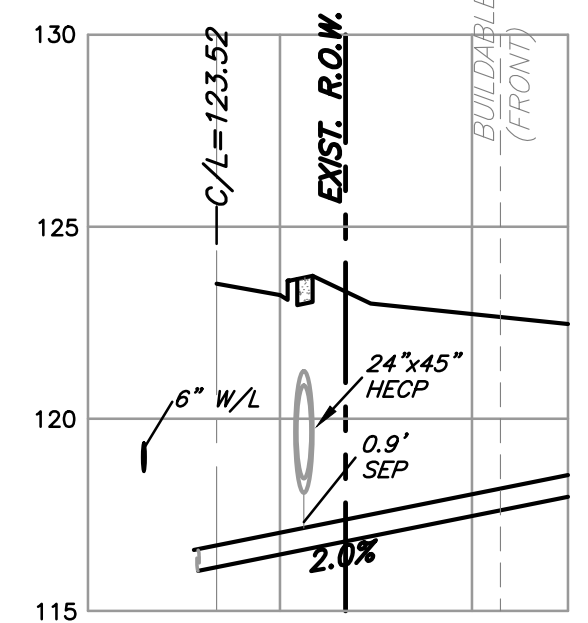
SANITARY LATERAL  
LOT 2



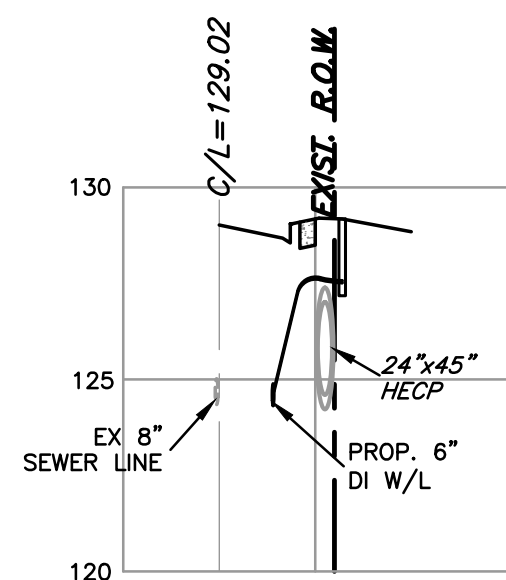
SANITARY LATERAL  
LOT 3



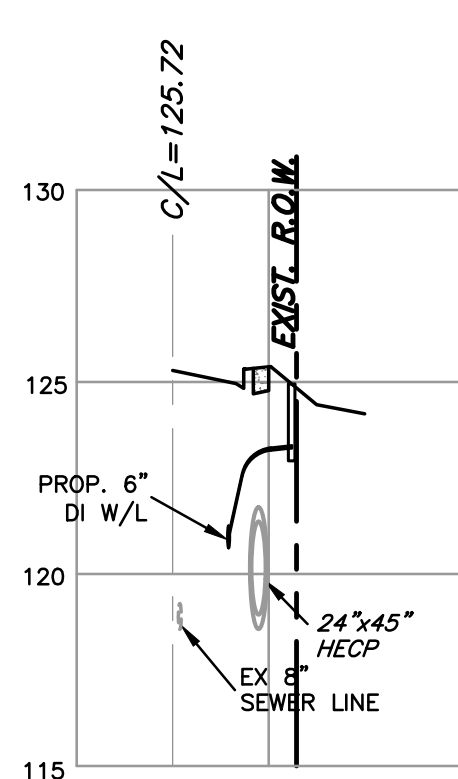
SANITARY LATERAL  
LOT 4



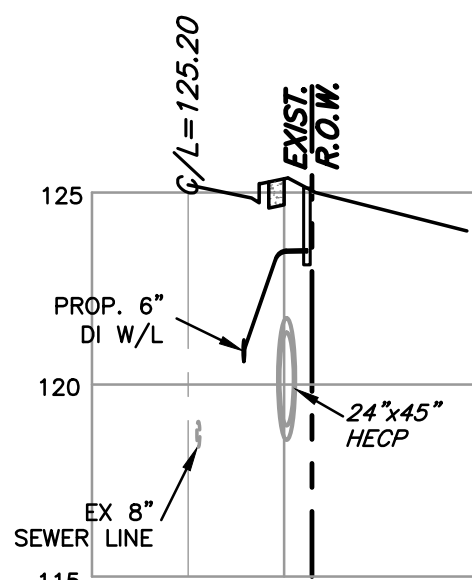
WATER METER  
LOT 1



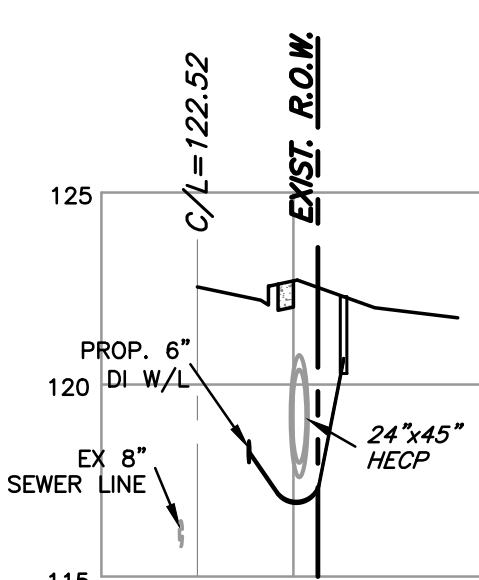
WATER METER  
LOT 2



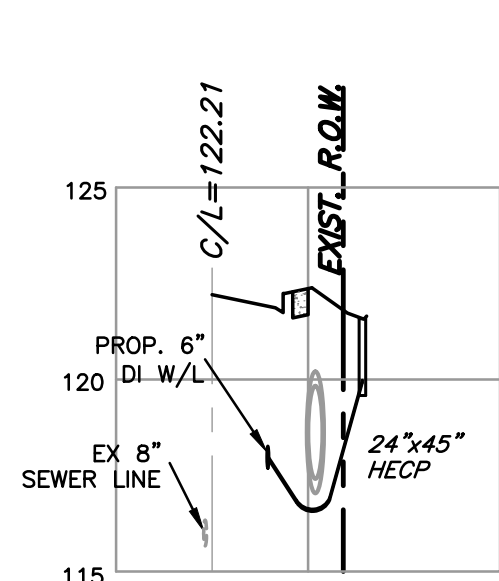
WATER METER  
LOT 3



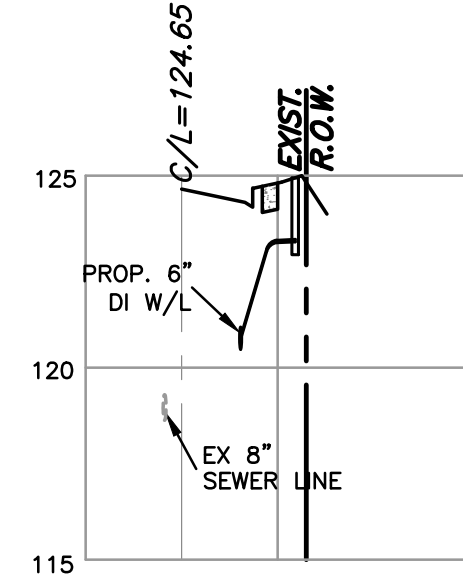
WATER METER  
LOT 4



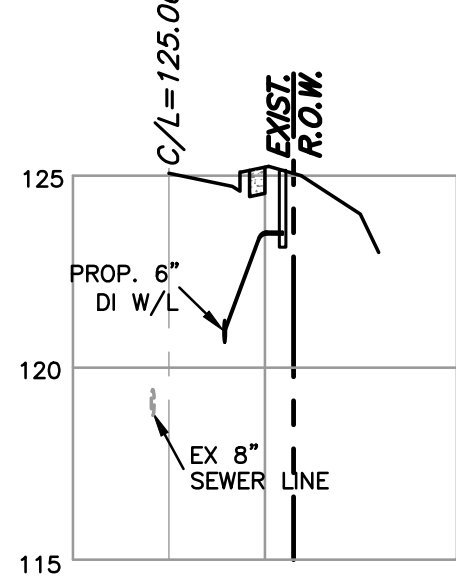
WATER METER  
LOT 5



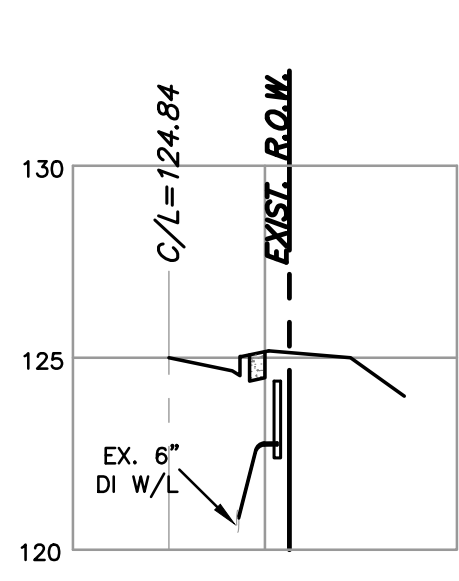
WATER METER  
LOT 6



WATER METER  
LOT 7



WATER METER  
LOT 8



SUB2008-00101



www.balzer.cc

Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

15871 City View Drive  
Suite 200  
Midlothian, VA 23113  
804-794-0571  
FAX 804-794-2635



FOXHILL CROSSING

SUBDIVISION

UTILITY PROFILES

VARINA DISTRICT  
HENRICO COUNTY, VIRGINIA

DRAWN BY BMS  
DESIGNED BY BMS  
CHECKED BY FCP  
DATE 4-2-08  
SCALE AS NOTED

REVISIONS:  
6-11-08  
7-10-08  
8-7-08  
7-7-17  
8-31-17  
01-17-18  
03-05-18  
10-8-18

SHEET NO.

4.1 of 14

JOB NO. C0700426.01





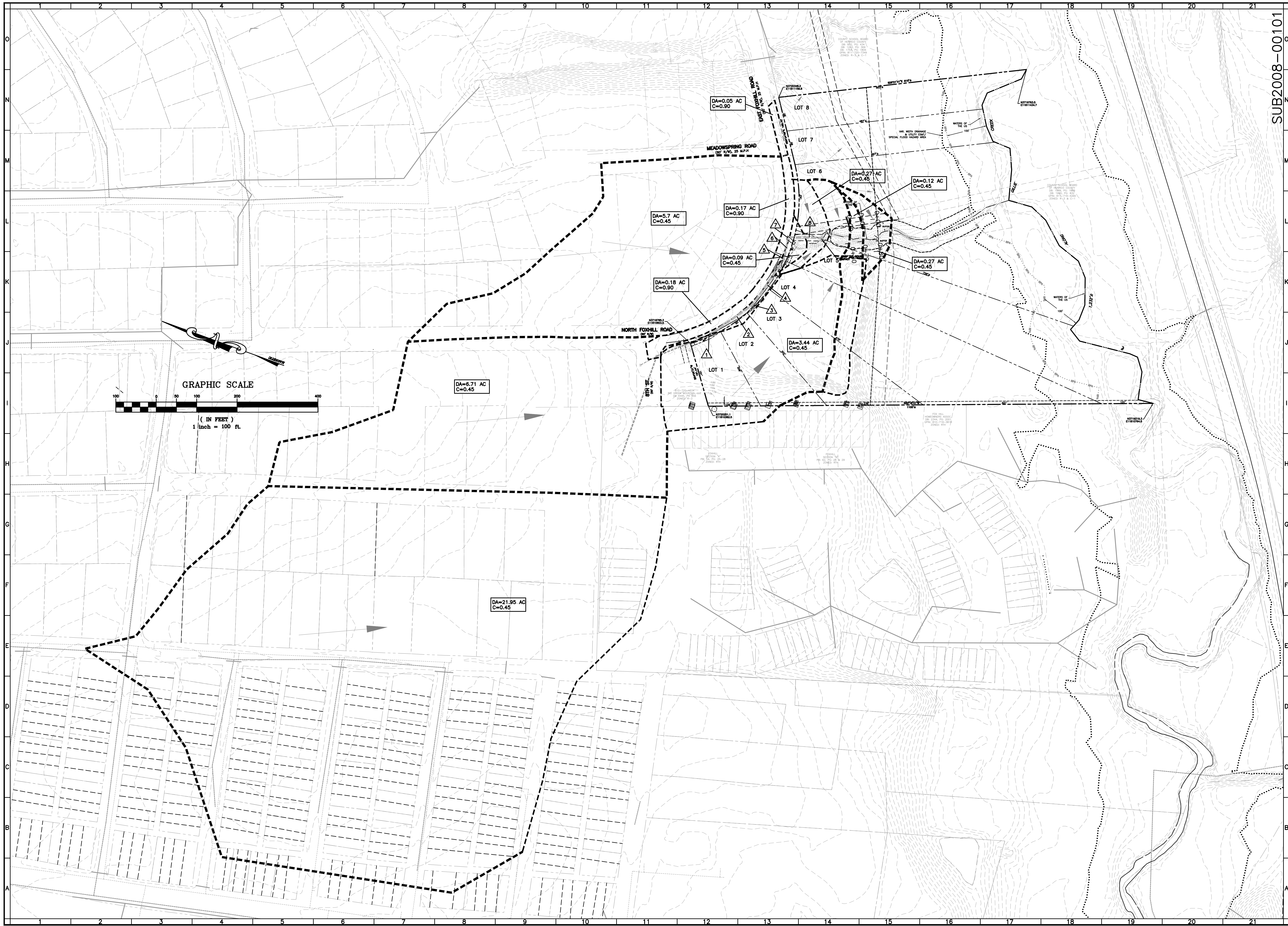












SUB2008-00101



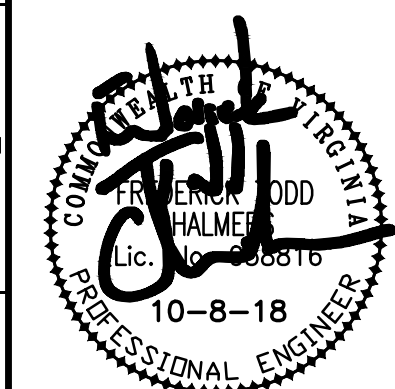
www.balzer.cc

Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

15871 City View Drive  
Suite 200  
Midlothian, VA 23113  
804-794-0571  
FAX 804-794-2635



FOXHILL CROSSING  
SUBDIVISION

DRAINAGE AREA MAP

VARINA DISTRICT  
HENRICO COUNTY, VIRGINIA

DRAWN BY BMS  
DESIGNED BY BMS  
CHECKED BY FCP  
DATE 4-2-08  
SCALE 1"=100'

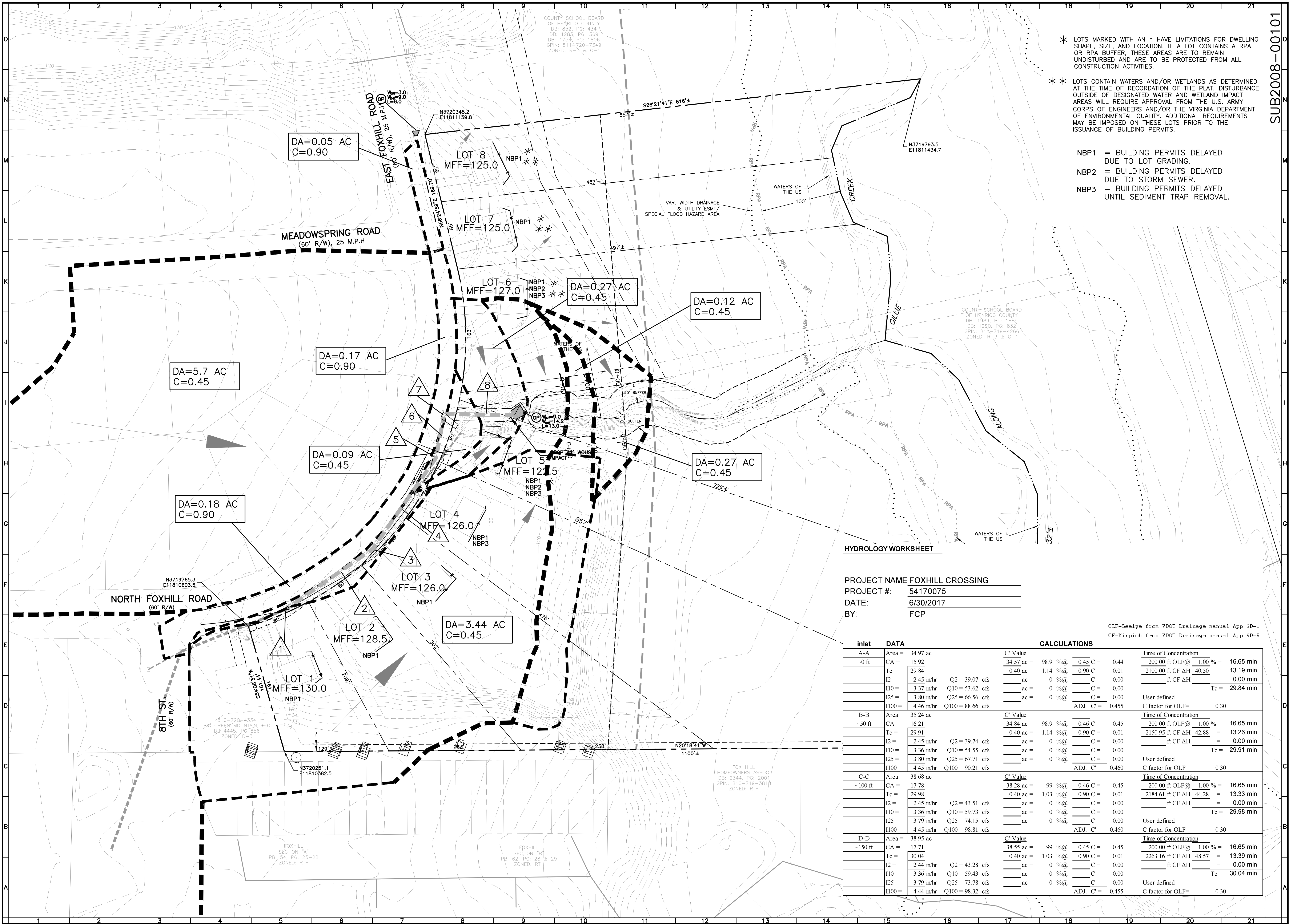
REVISIONS:  
6-11-08  
7-10-08  
8-7-08  
7-7-17  
9-6-17  
10-8-18

SHEET NO.

8 of 14

JOB NO. C0700426.01





\* LOTS MARKED WITH AN \* HAVE LIMITATIONS FOR DWELLING SHAPE, SIZE, AND LOCATION. IF A LOT CONTAINS A RPA OR RPA BUFFER, THESE AREAS ARE TO REMAIN UNDISTURBED AND ARE TO BE PROTECTED FROM ALL CONSTRUCTION ACTIVITIES.

\* LOTS CONTAIN WATERS AND/OR WETLANDS AS DETERMINED AT THE TIME OF RECORDATION OF THE PLAT. DISTURBANCE OUTSIDE OF DESIGNATED WATER AND WETLAND IMPACT AREAS WILL REQUIRE APPROVAL FROM THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY. ADDITIONAL REQUIREMENTS MAY BE IMPOSED ON THESE LOTS PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

NBP1 = BUILDING PERMITS DELAYED DUE TO LOT GRADING.

NBP2 = BUILDING PERMITS DELAYED DUE TO STORM SEWER.

NBP3 = BUILDING PERMITS DELAYED UNTIL SEDIMENT TRAP REMOVAL.

HYDROLOGY WORKSHEET

PROJECT NAME FOXHILL CROSSING  
PROJECT #: 54170075  
DATE: 6/30/2017  
BY: FCP

OLF=Seelye from VDOT Drainage manual App 6D-1  
CF=Kirpich from VDOT Drainage manual App 6D-5

inlet DATA		CALCULATIONS			
A-A -0 ft	Area =	34.97 ac	C' Value		Time of Concentration
	CA =	15.92	34.57 ac =	98.9 % @ 0.45 C =	200.00 ft OLF @ 1.00 % = 16.65 min
	Tc =	29.84	0.40 ac =	1.14 % @ 0.90 C =	2100.00 ft CF ΔH 40.50 = 13.19 min
	I2 =	2.45 in/hr	ac =	0 % @ C =	ft CF ΔH = 0.00 min
	I10 =	3.37 in/hr	ac =	0 % @ C =	Tc = 29.84 min
	I25 =	3.80 in/hr	ac =	0 % @ C =	
	I100 =	4.46 in/hr	ac =	0 % @ C =	
B-B -50 ft	Area =	35.24 ac	C' Value		Time of Concentration
	CA =	16.21	34.84 ac =	98.9 % @ 0.46 C =	200.00 ft OLF @ 1.00 % = 16.65 min
	Tc =	29.91	0.40 ac =	1.14 % @ 0.90 C =	2150.95 ft CF ΔH 42.88 = 13.26 min
	I2 =	2.45 in/hr	ac =	0 % @ C =	ft CF ΔH = 0.00 min
	I10 =	3.36 in/hr	ac =	0 % @ C =	Tc = 29.91 min
	I25 =	3.80 in/hr	ac =	0 % @ C =	
	I100 =	4.45 in/hr	ac =	0 % @ C =	
C-C -100 ft	Area =	38.68 ac	C' Value		Time of Concentration
	CA =	17.78	38.28 ac =	99 % @ 0.46 C =	200.00 ft OLF @ 1.00 % = 16.65 min
	Tc =	29.98	0.40 ac =	1.03 % @ 0.90 C =	2184.61 ft CF ΔH 44.28 = 13.33 min
	I2 =	2.45 in/hr	ac =	0 % @ C =	ft CF ΔH = 0.00 min
	I10 =	3.36 in/hr	ac =	0 % @ C =	Tc = 29.98 min
	I25 =	3.79 in/hr	ac =	0 % @ C =	
	I100 =	4.45 in/hr	ac =	0 % @ C =	
D-D -150 ft	Area =	38.95 ac	C' Value		Time of Concentration
	CA =	17.71	38.55 ac =	99 % @ 0.45 C =	200.00 ft OLF @ 1.00 % = 16.65 min
	Tc =	30.04	0.40 ac =	1.03 % @ 0.90 C =	2263.16 ft CF ΔH 48.57 = 13.39 min
	I2 =	2.44 in/hr	ac =	0 % @ C =	ft CF ΔH = 0.00 min
	I10 =	3.36 in/hr	ac =	0 % @ C =	Tc = 30.04 min
	I25 =	3.79 in/hr	ac =	0 % @ C =	
	I100 =	4.44 in/hr	ac =	0 % @ C =	



www.balzer.cc

Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

15871 City View Drive  
Suite 200  
Midlothian, VA 23113  
804-794-0571  
FAX 804-794-2635



FOXHILL CROSSING  
SUBDIVISION

LOT DRAINAGE MAP

VIRGINIA DISTRICT  
HENRICO COUNTY, VIRGINIA

DRAWN BY BMS

DESIGNED BY BMS

CHECKED BY FCP

DATE 10-27-17

SCALE 1"=50'

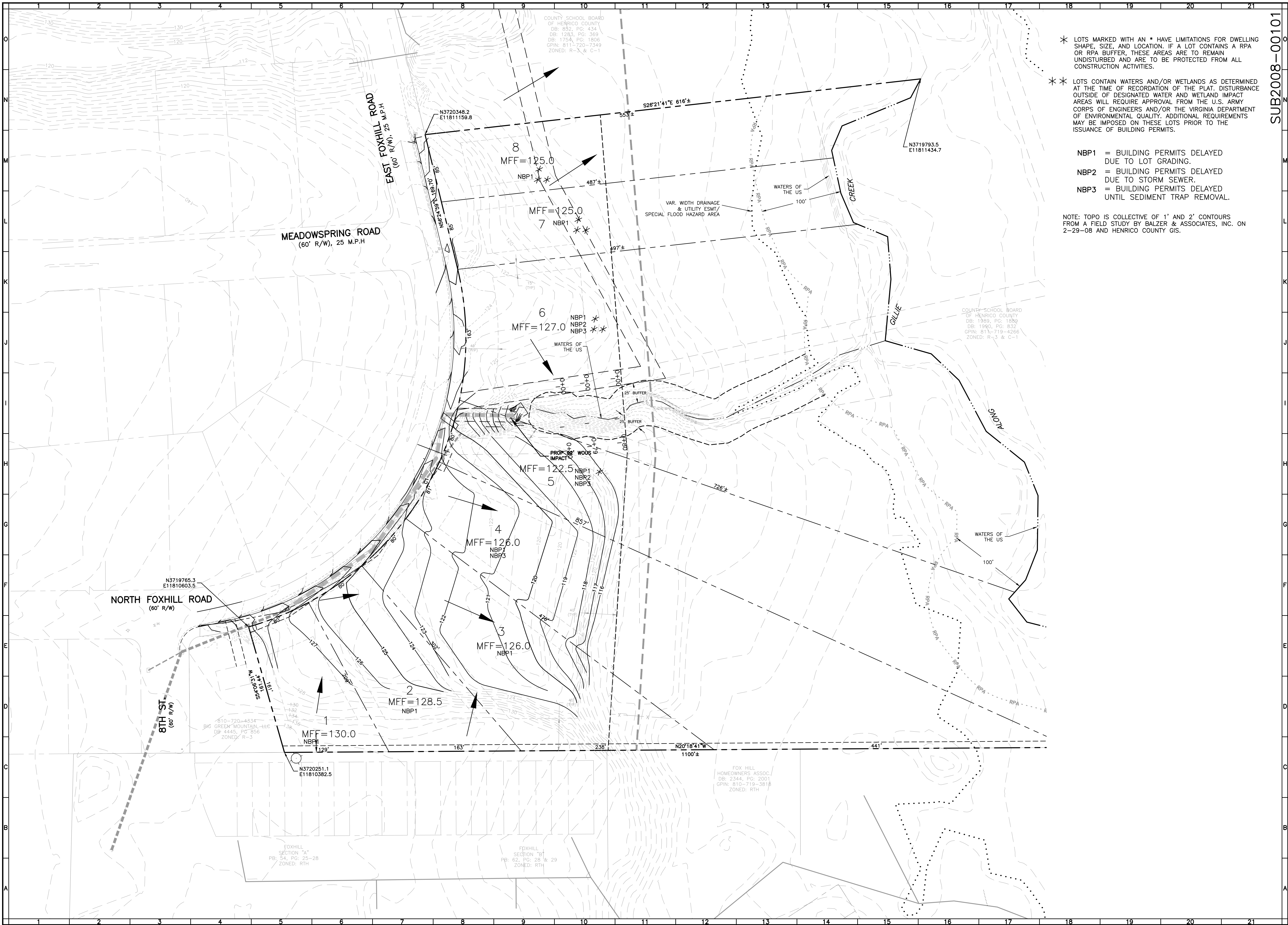
REVISIONS:  
10-8-18

SHEET NO.

8.1 of 14

JOB NO. C0700426.01





\* LOTS MARKED WITH AN \* HAVE LIMITATIONS FOR DWELLING SHAPE, SIZE, AND LOCATION. IF A LOT CONTAINS A RPA OR RPA BUFFER, THESE AREAS ARE TO REMAIN UNDISTURBED AND ARE TO BE PROTECTED FROM ALL CONSTRUCTION ACTIVITIES.

\* LOTS CONTAIN WATERS AND/OR WETLANDS AS DETERMINED AT THE TIME OF RECORDATION OF THE PLAT. DISTURBANCE OUTSIDE OF DESIGNATED WATER AND WETLAND IMPACT AREAS WILL REQUIRE APPROVAL FROM THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY. ADDITIONAL REQUIREMENTS MAY BE IMPOSED ON THESE LOTS PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

NBP1 = BUILDING PERMITS DELAYED DUE TO LOT GRADING.

NBP2 = BUILDING PERMITS DELAYED DUE TO STORM SEWER.

NBP3 = BUILDING PERMITS DELAYED UNTIL SEDIMENT TRAP REMOVAL.

NOTE: TOPO IS COLLECTIVE OF 1' AND 2' CONTOURS FROM A FIELD STUDY BY BALZER & ASSOCIATES, INC. ON 2-29-08 AND HENRICO COUNTY GIS.



www.balzer.cc  
Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

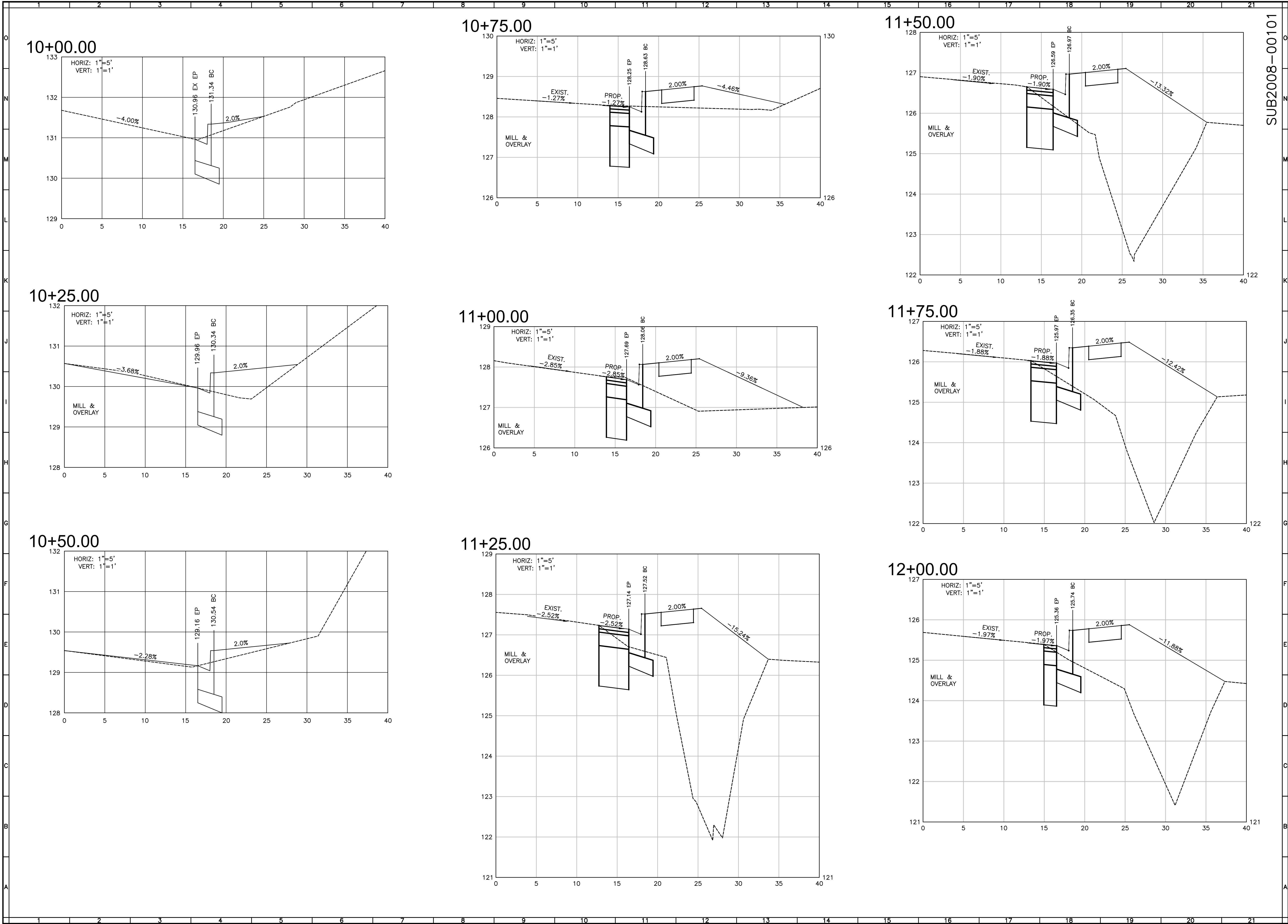
Balzer and Associates, Inc.  
15871 City View Drive  
Suite 200  
Midlothian, VA 23113  
804-794-0571  
FAX 804-794-2635



FOXHILL CROSSING  
SUBDIVISION  
LOT GRADING  
VARINA DISTRICT  
HENRICO COUNTY, VIRGINIA

DRAWN BY BMS  
DESIGNED BY BMS  
CHECKED BY FCP  
DATE 03-05-18  
SCALE 1"=50'  
REVISIONS:  
10-8-18

SHEET NO.  
8.2 of 14  
JOB NO. C0700426.01



**BALZER**  
AND ASSOCIATES, INC.  
REFLECTING TOMORROW  
[www.balzer.cc](http://www.balzer.cc)  
Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

**Balzer and Associates, Inc.**  
15871 City View Drive  
Suite 200  
Midlothian, VA 23113  
804-794-0571  
FAX 804-794-2635

10-8-18

**FOXHILL CROSSING**  
SUBDIVISION  
ROAD WIDENING

VARINA DISTRICT  
HENRICO COUNTY, VIRGINIA

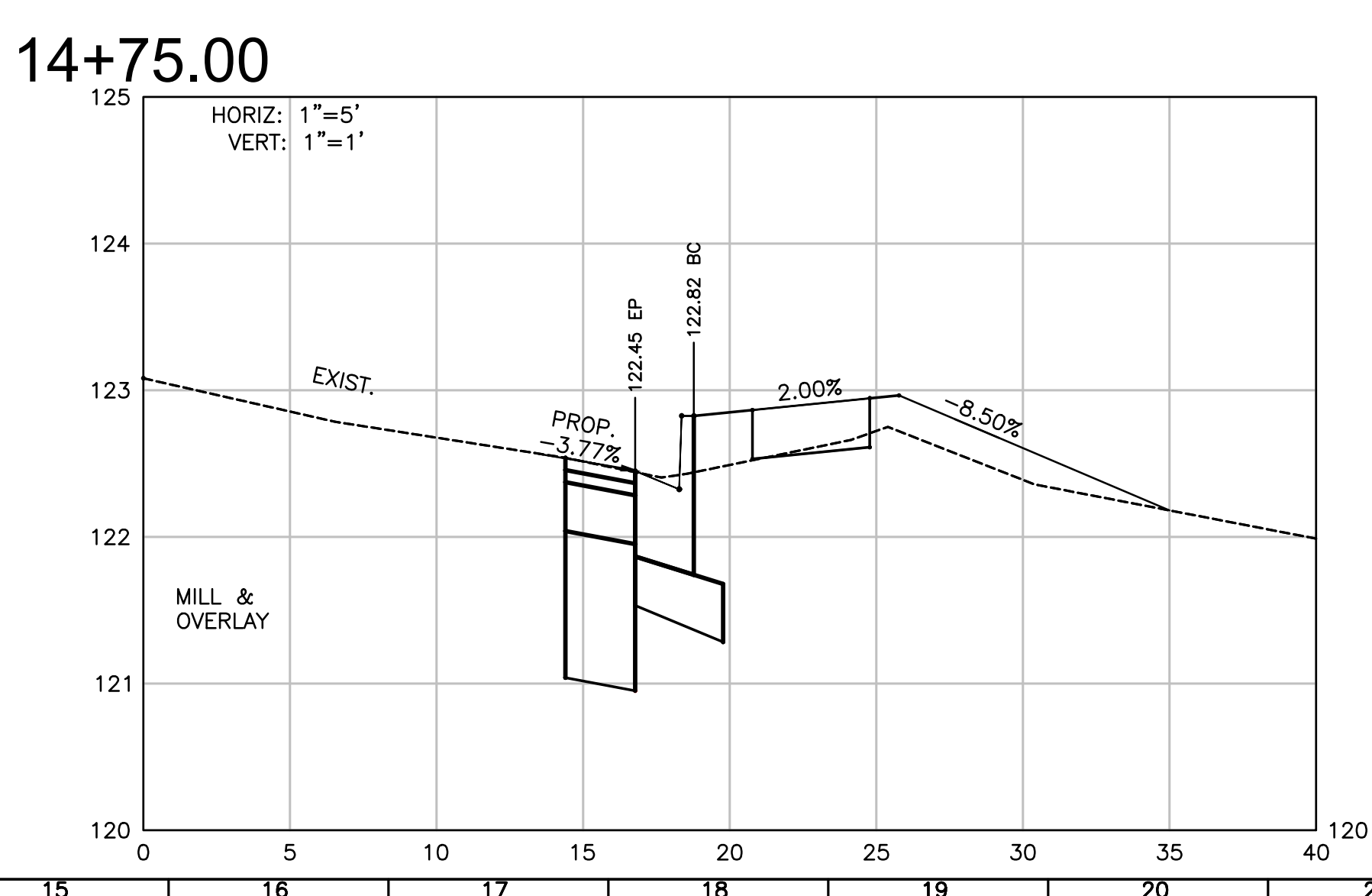
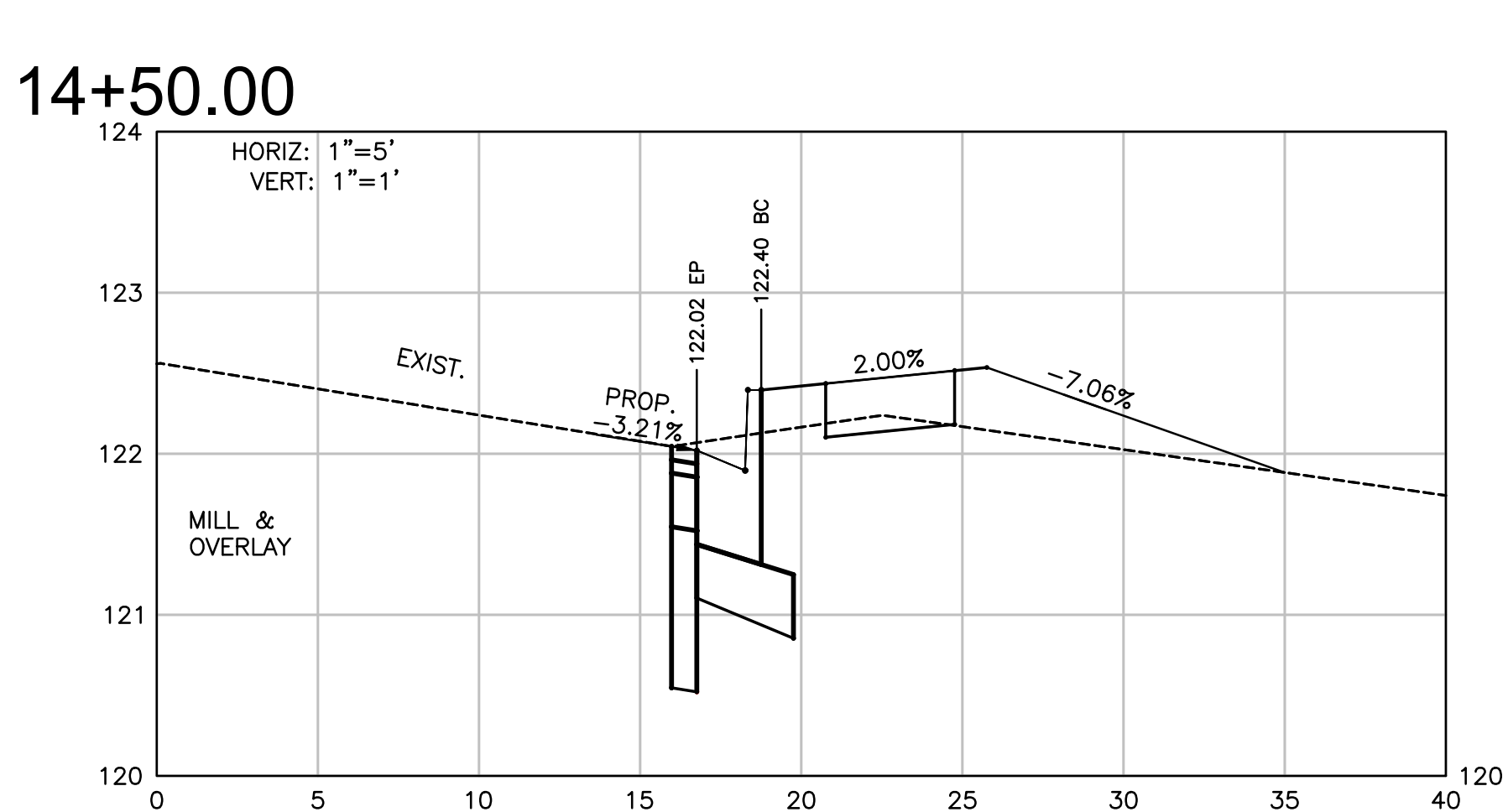
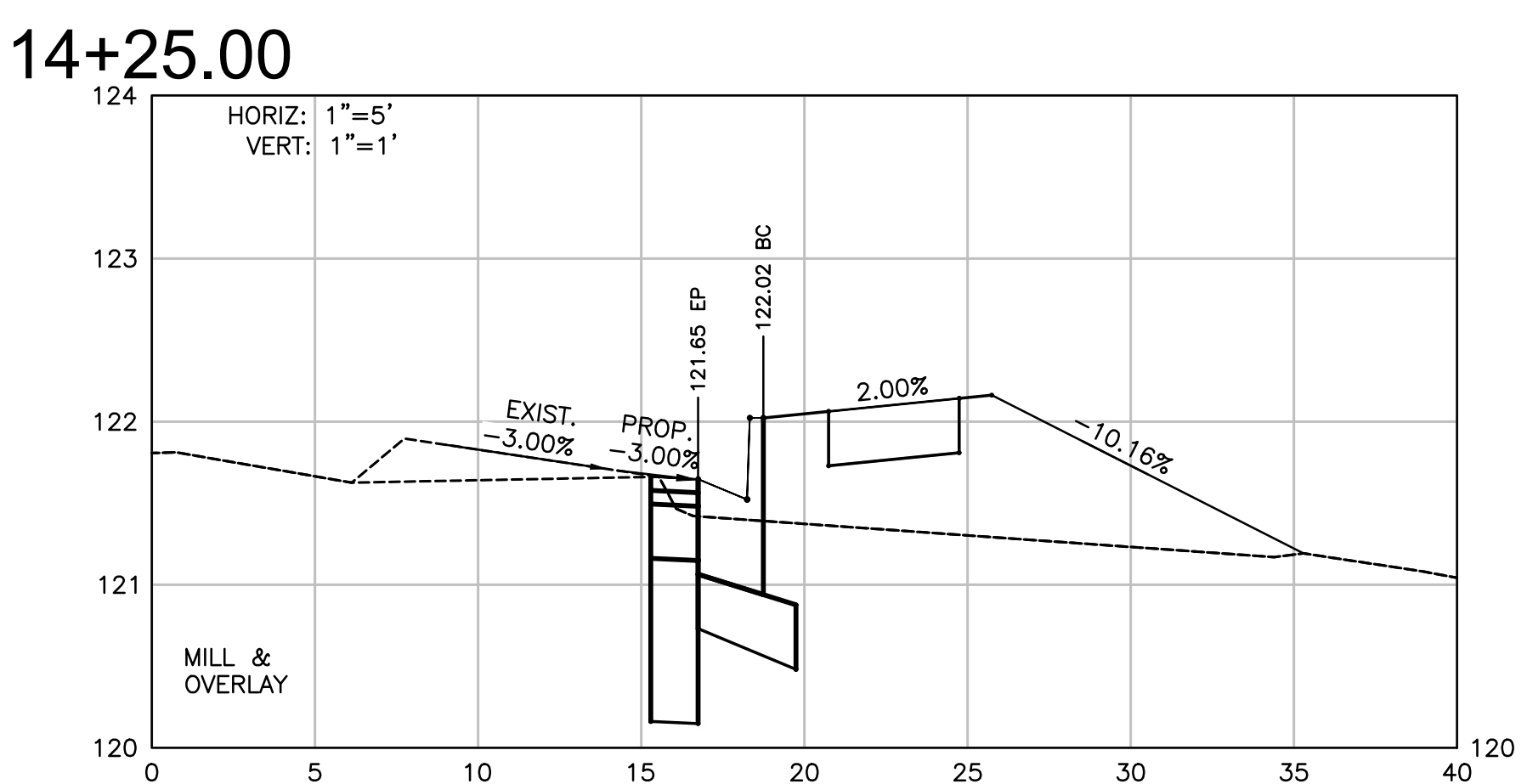
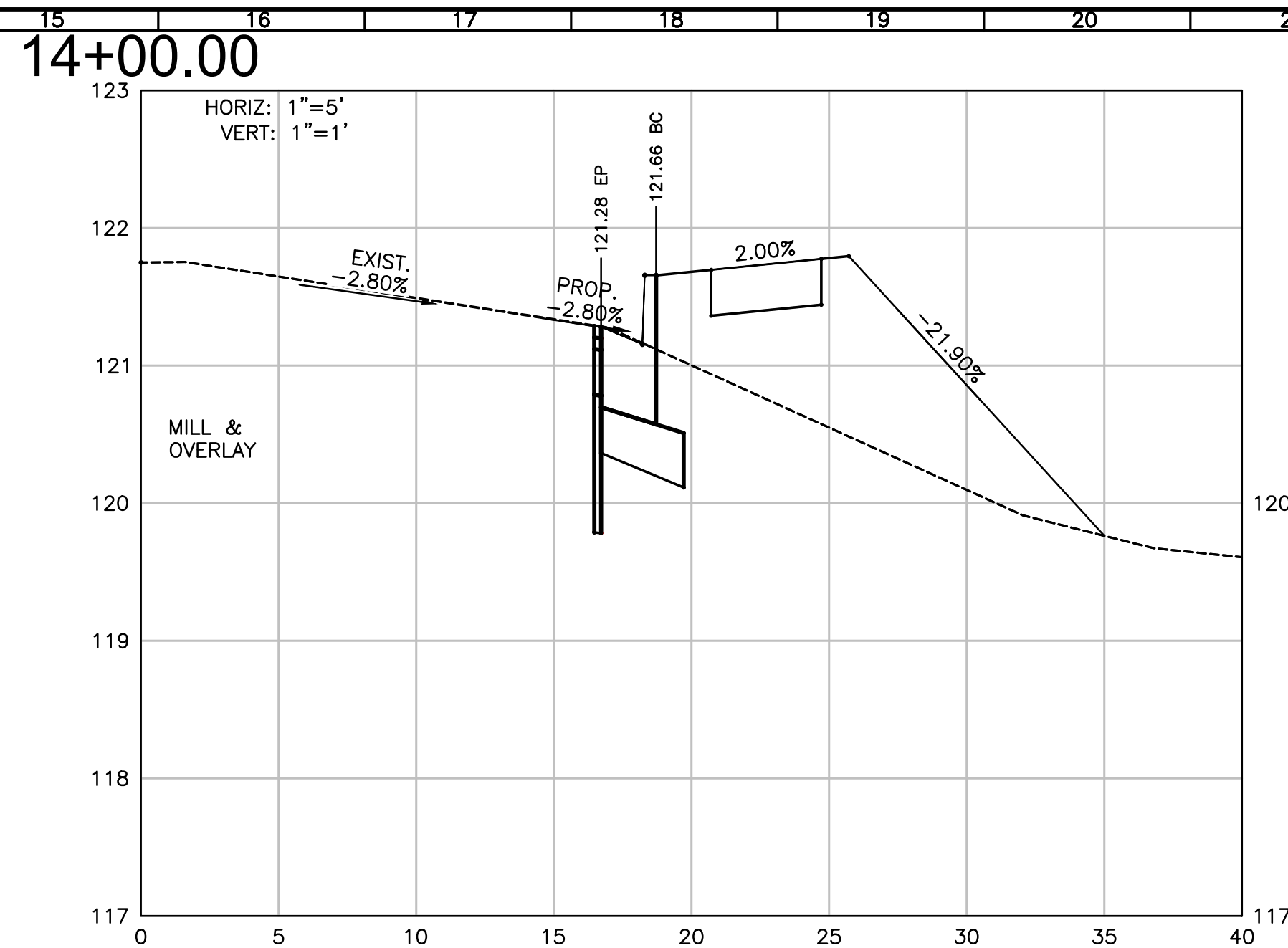
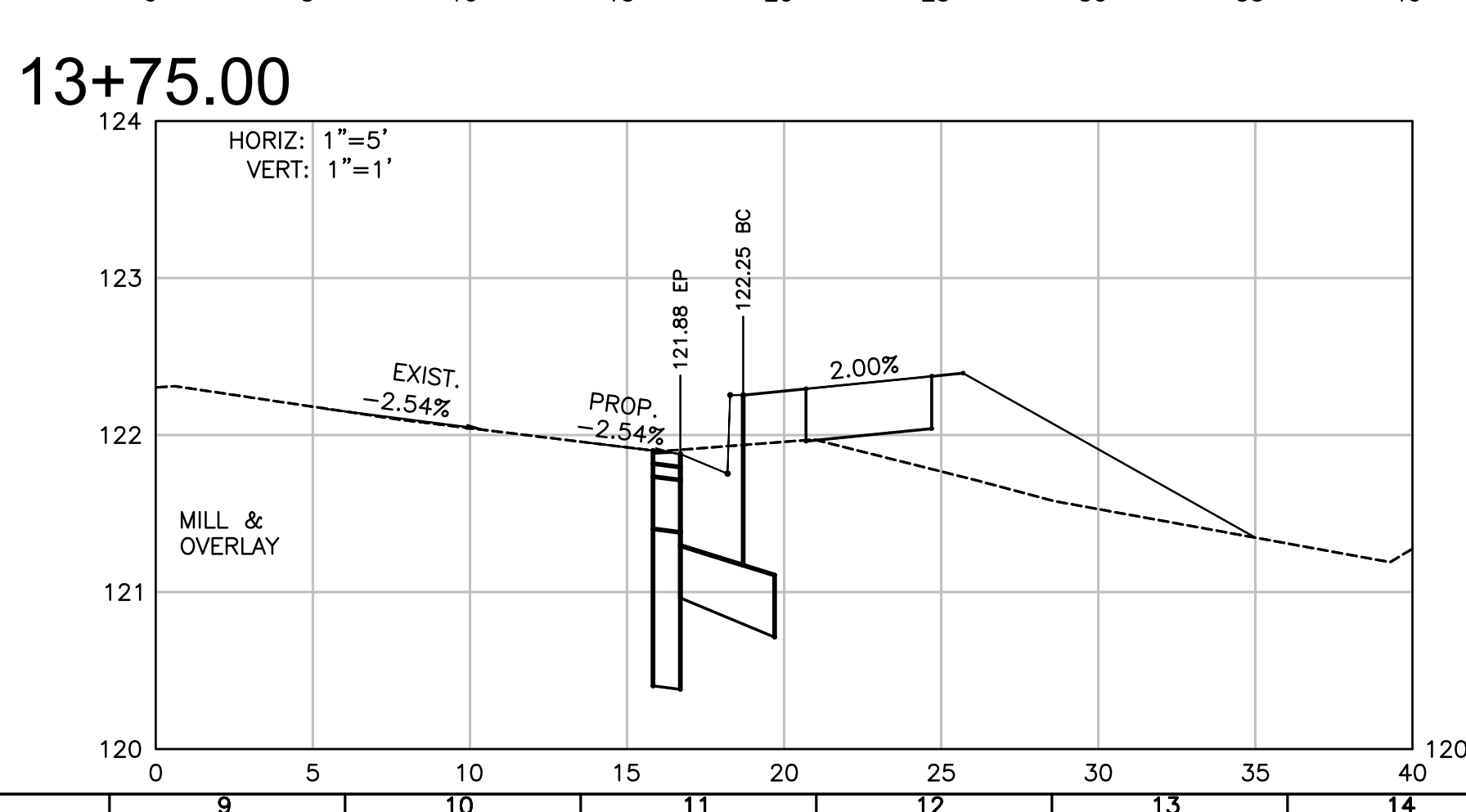
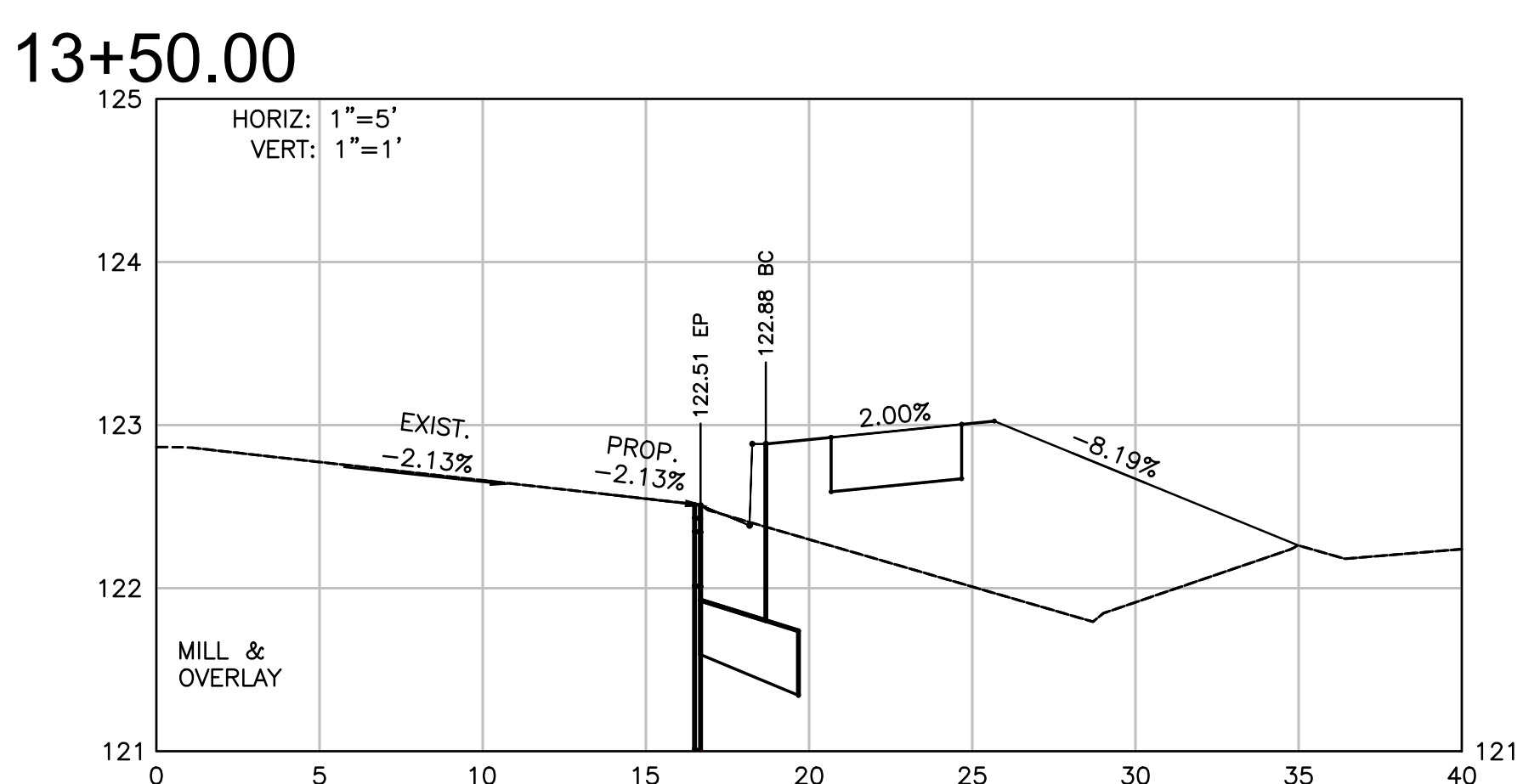
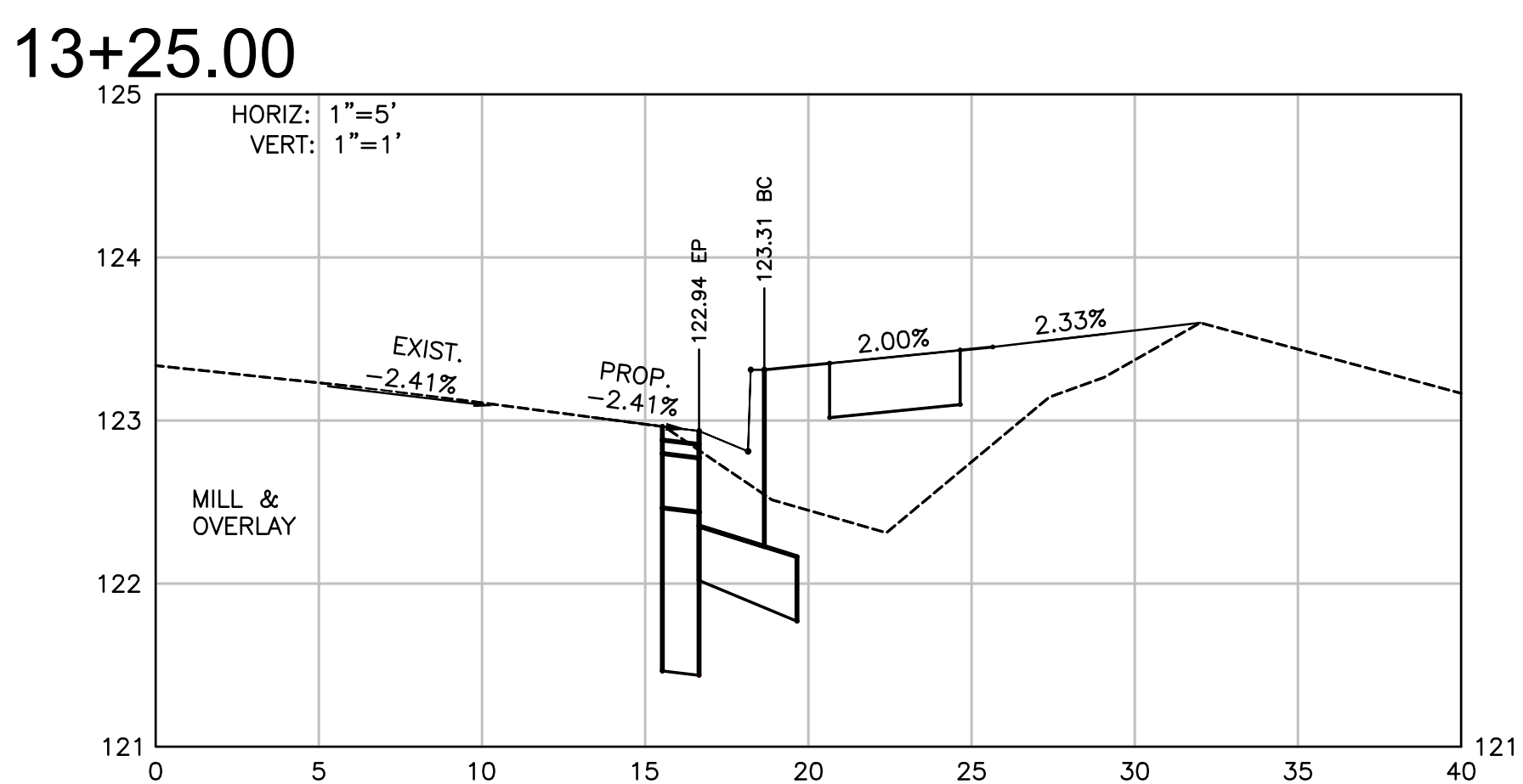
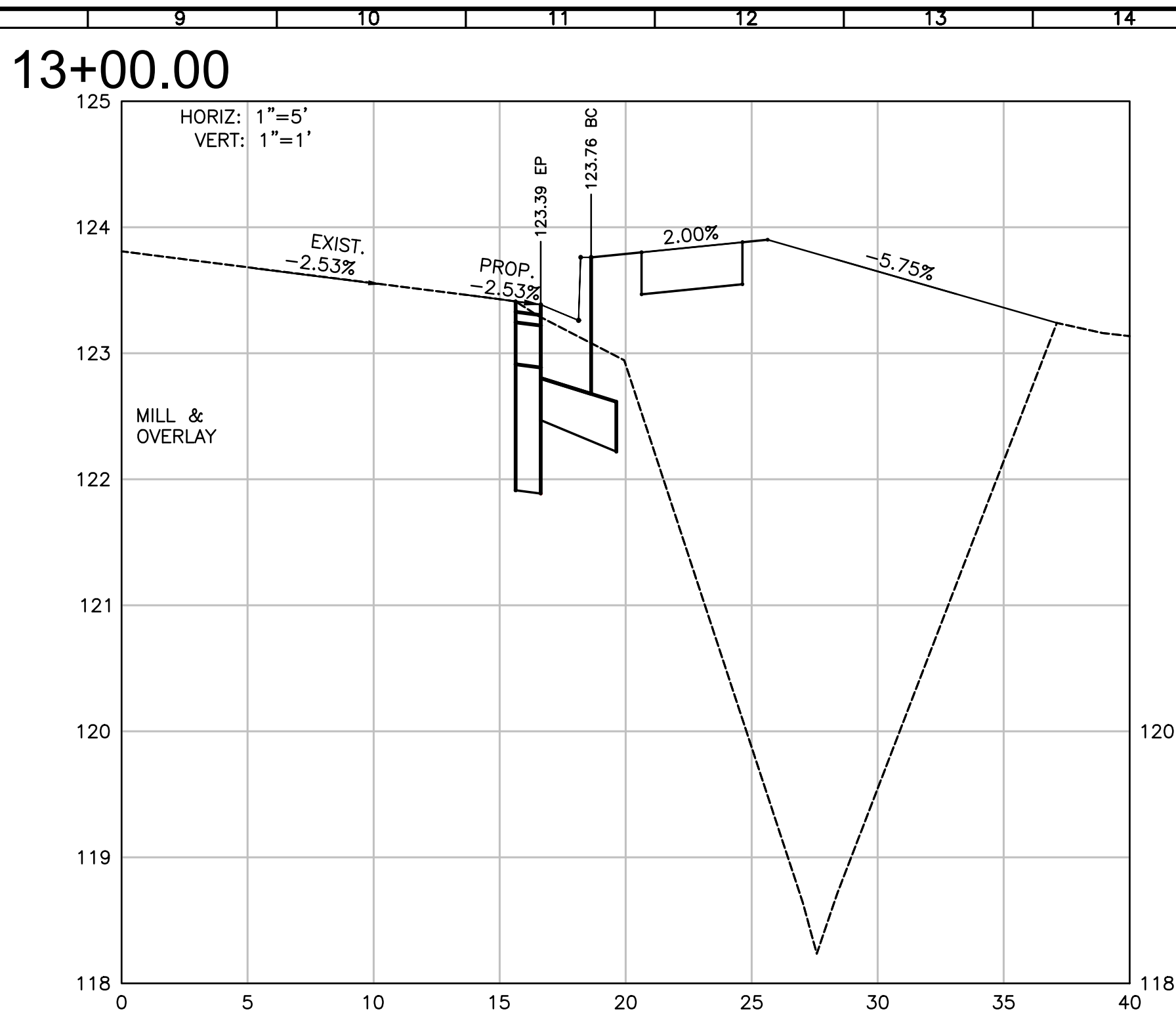
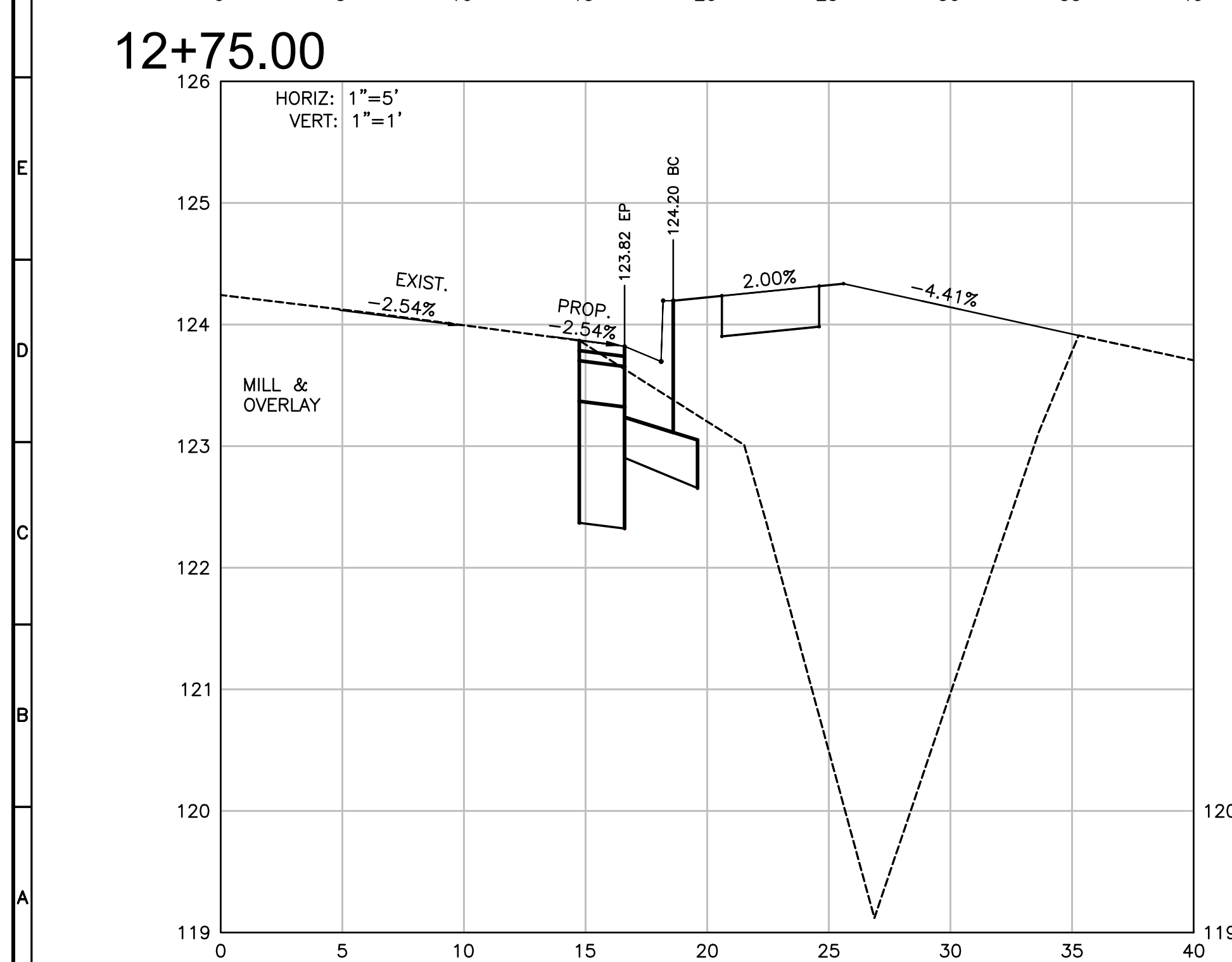
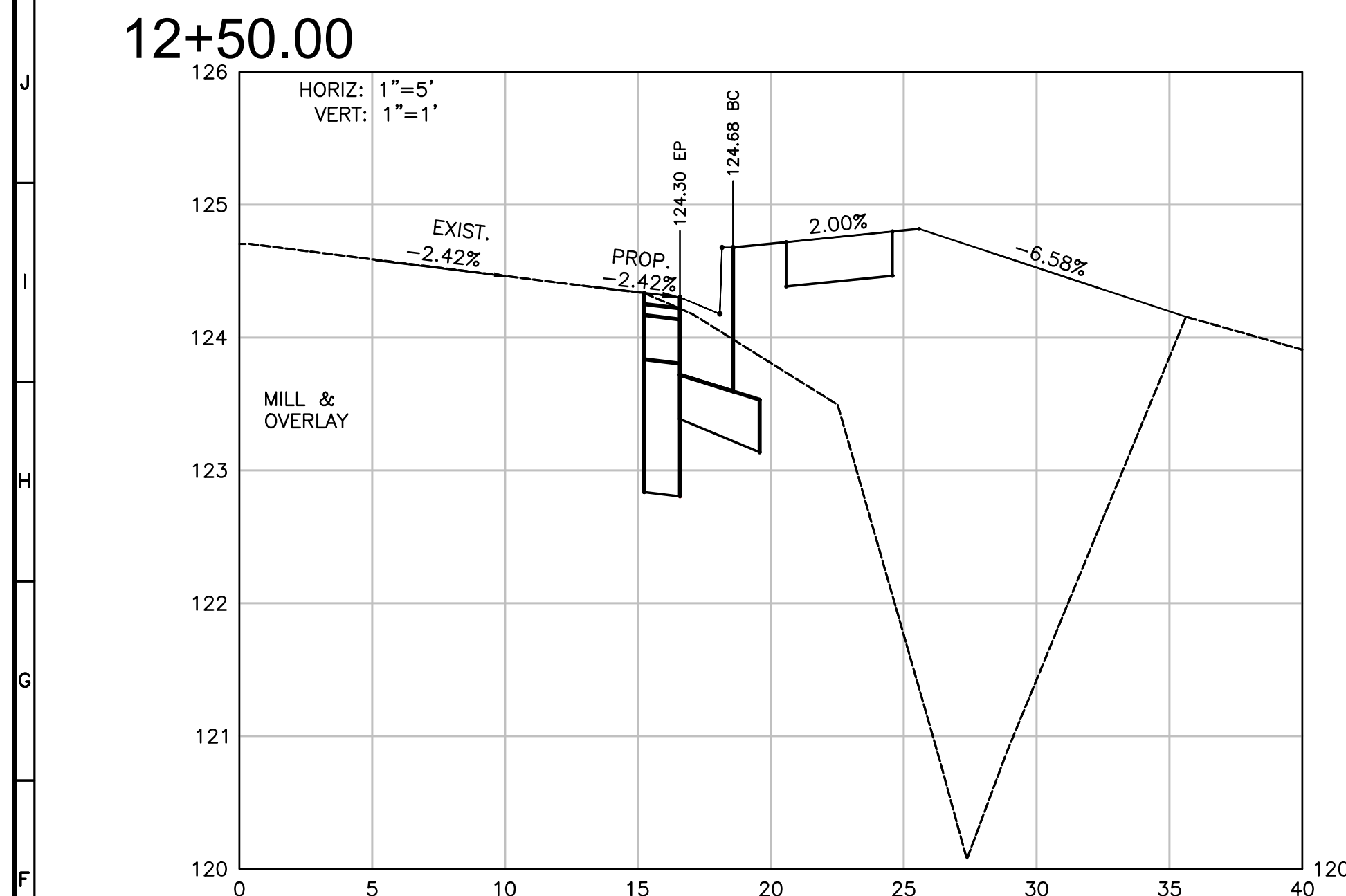
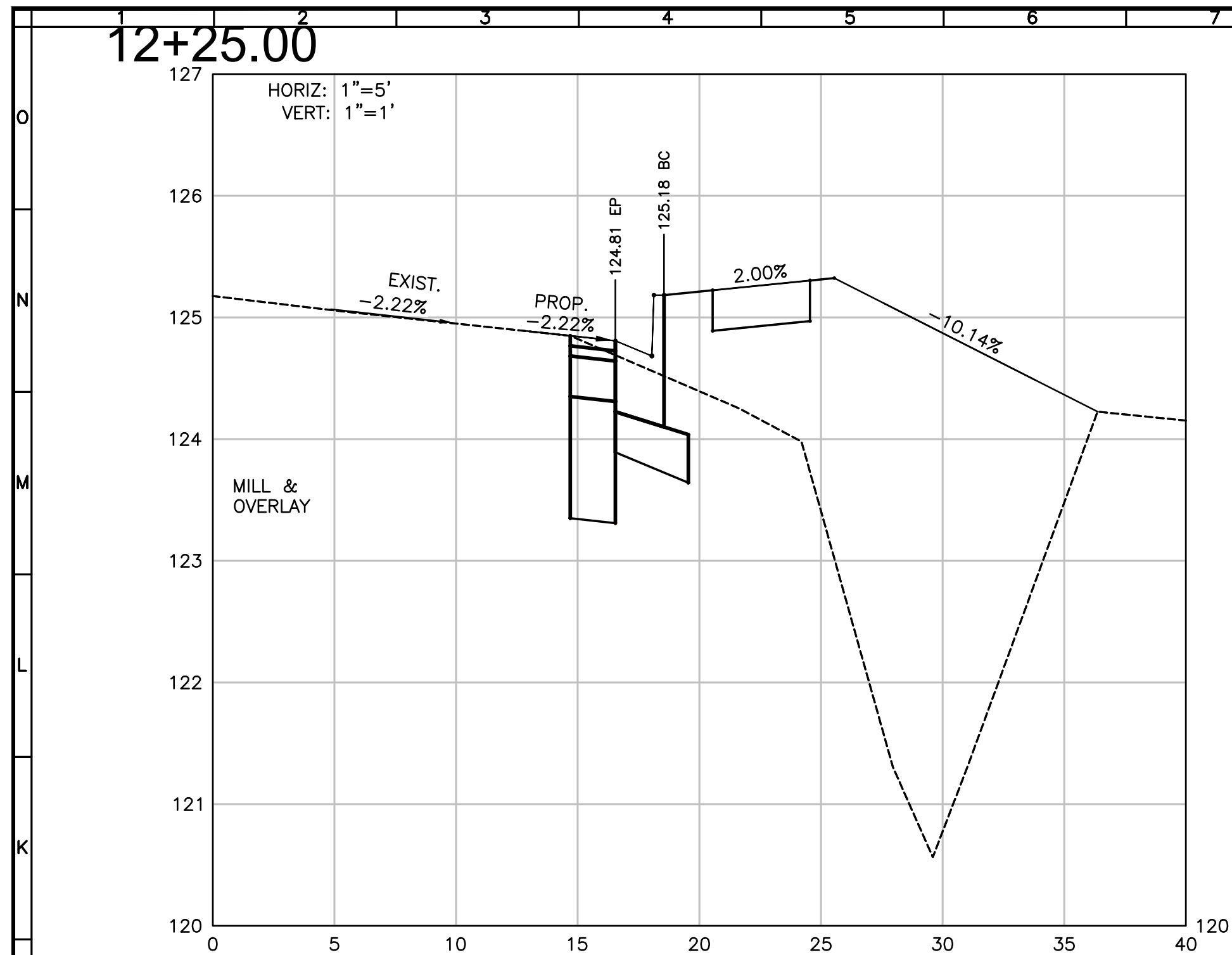
DRAWN BY	BMS
DESIGNED BY	BMS
CHECKED BY	FCP
DATE	4-2-08
SCALE	AS NOTED

REVISIONS:  
6-11-08  
7-10-08  
8-7-08  
7-7-17  
10-3-17  
10-25-17  
03-05-18  
10-8-18

SHEET NO.  
**9 of 14**

JOB NO. C0700426.01





SUB2008-00101



REFLECTING TOMORROW

www.balzer.cc

Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

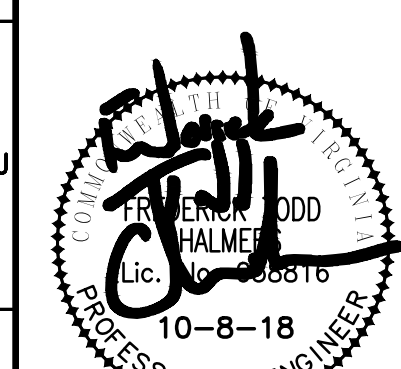
15871 City View Drive

Suite 200

Midlothian, VA 23113

804-794-0571

FAX 804-794-2635



FOXHILL CROSSING  
SUBDIVISION  
ROAD WIDENING  
VARINA DISTRICT  
HENRICO COUNTY, VIRGINIA

DRAWN BY BMS  
DESIGNED BY BMS  
CHECKED BY FCP  
DATE 10-25-17  
SCALE AS NOTED

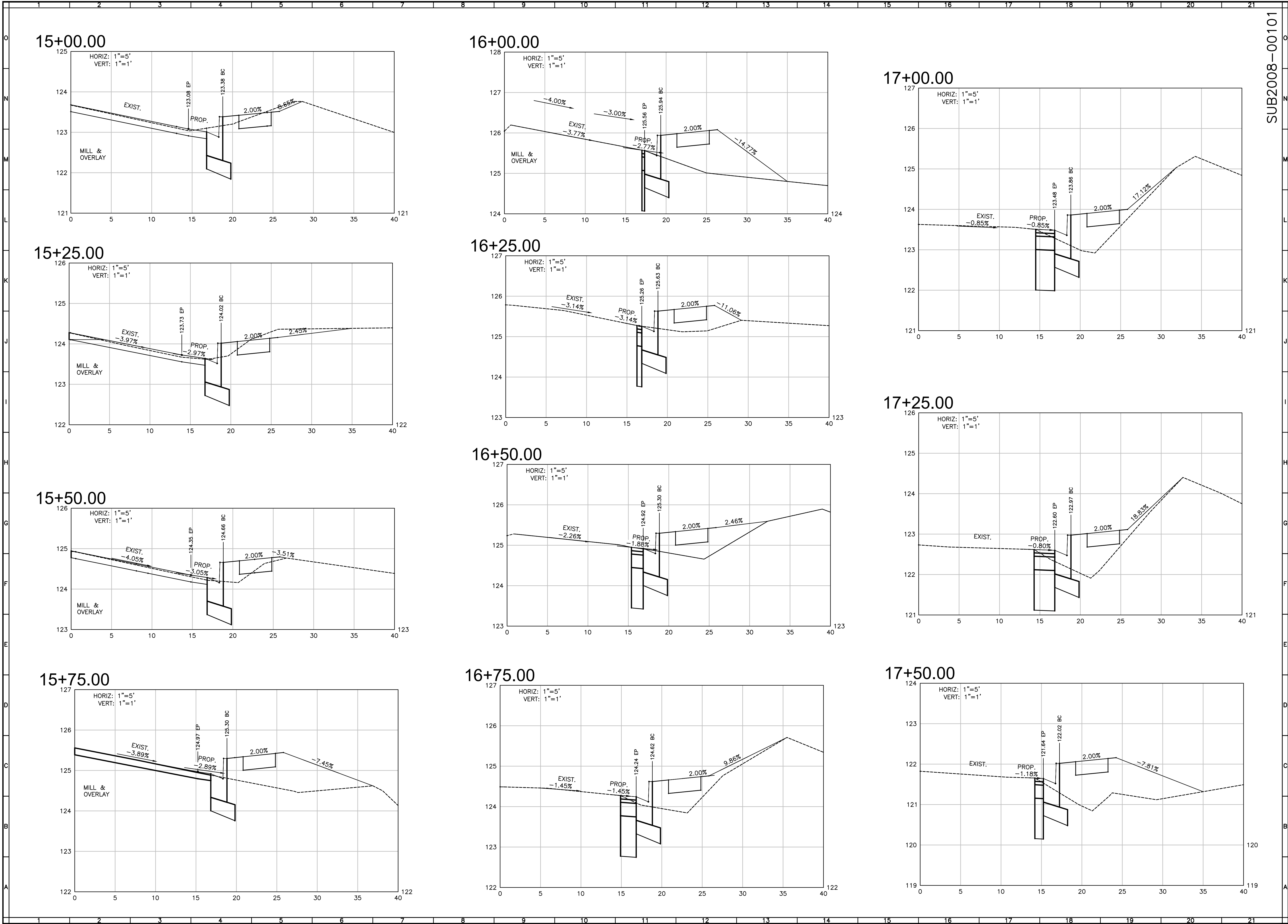
REVISIONS:  
03-05-18  
10-8-18

SHEET NO.

9.1 of 14

JOB NO. C0700426.01

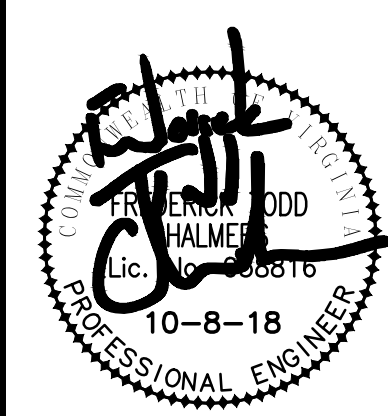




Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

**Balzer and Associates, Inc.**  
15871 City View Drive  
Suite 200  
Midlothian, VA 23113  
804-794-0571  
FAX 804-794-2635



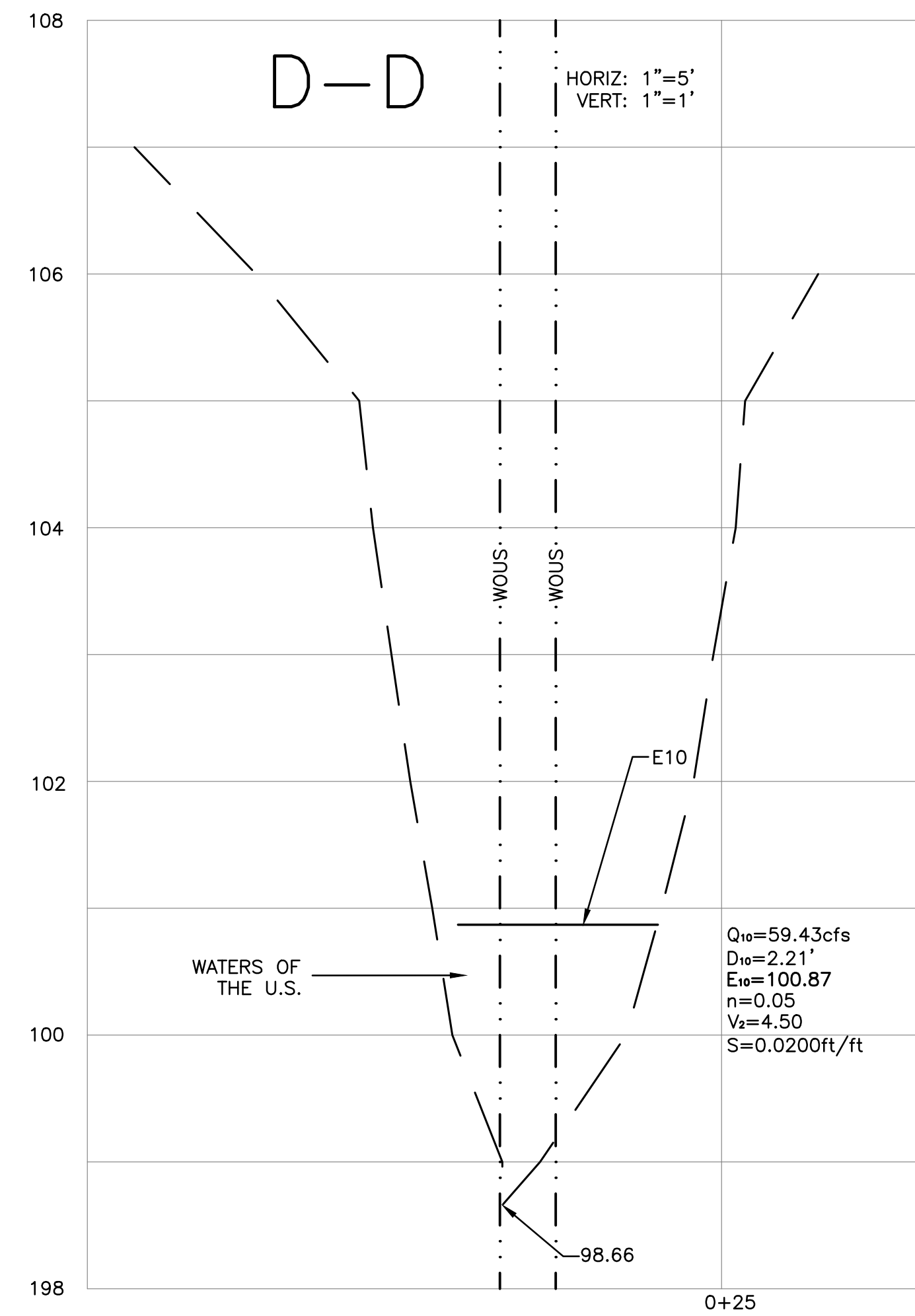
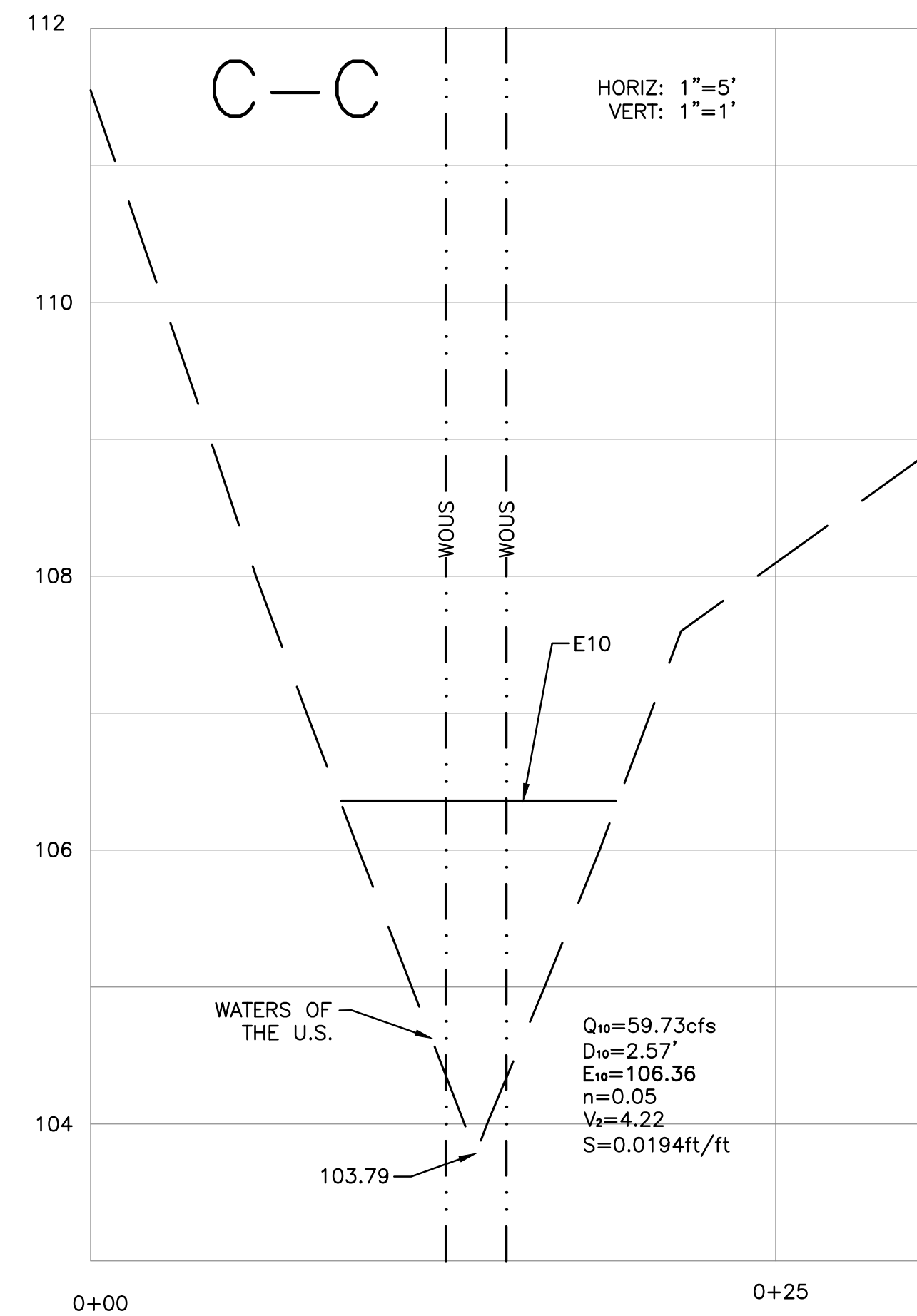
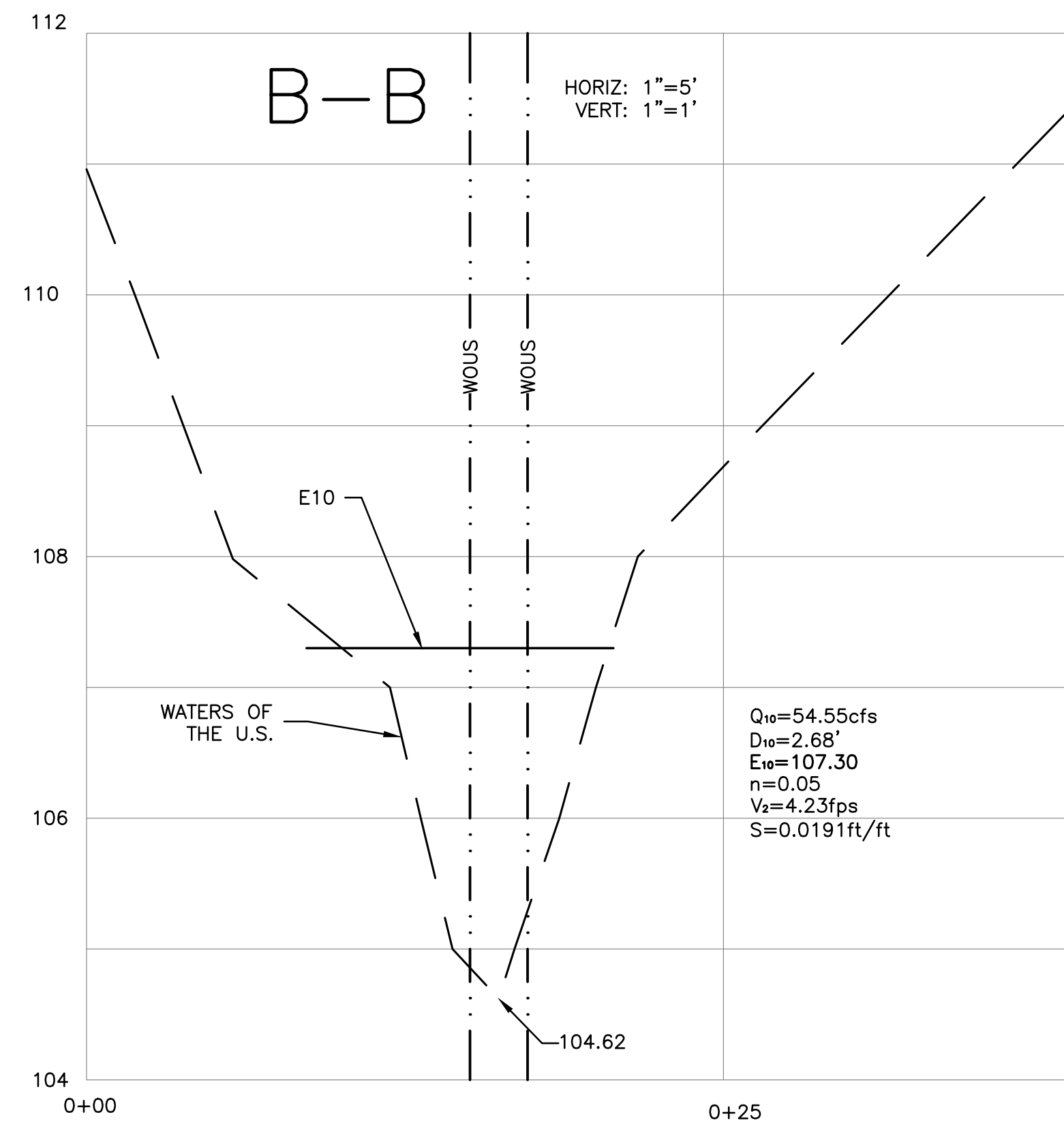
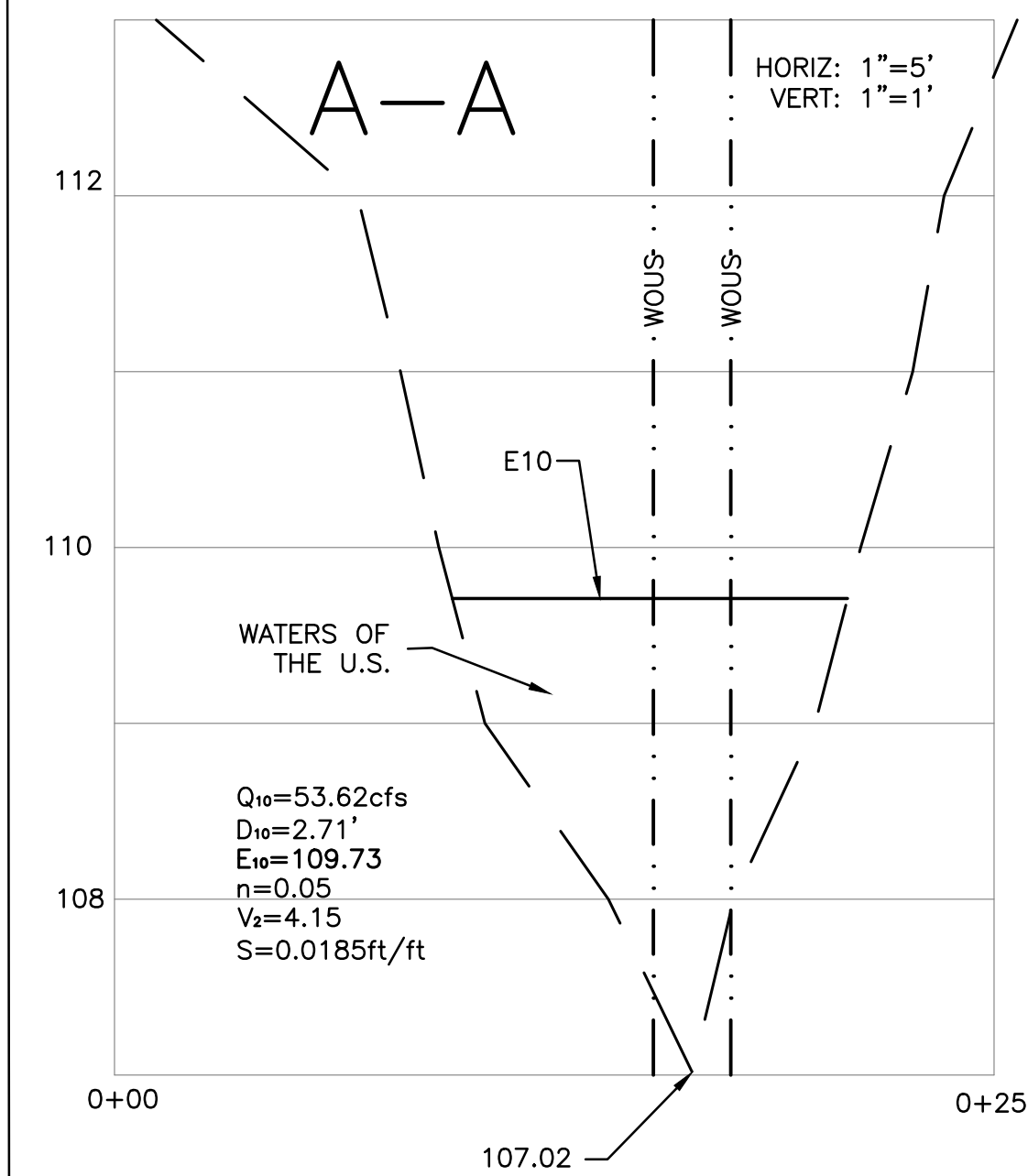
**FOXHILL CROSSING**  
SUBDIVISION  
**ROAD WIDENING**  
VARINA DISTRICT  
HENRICO COUNTY, VIRGINIA

DRAWN BY BMS  
DESIGNED BY BMS  
CHECKED BY FCP  
DATE 10-25-17  
SCALE AS NOTED

REVISIONS:  
03-05-18  
10-8-18



OUTFALL CROSS SECTIONS



Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

**Balzer and Associates, Inc.**  
15871 City View Drive  
Suite 200  
Midlothian, VA 23113  
804-794-0571  
FAX 804-794-2635



FOXHILL CROSSING  
SUBDIVISION  
MS-19 CROSS SECTIONS  
VARINA DISTRICT  
HENRICO COUNTY, VIRGINIA

DRAWN BY BMS  
DESIGNED BY BMS  
CHECKED BY FCP  
DATE 9-18-17  
SCALE AS NOTED

REVISIONS:  
01-19-18  
10-8-18



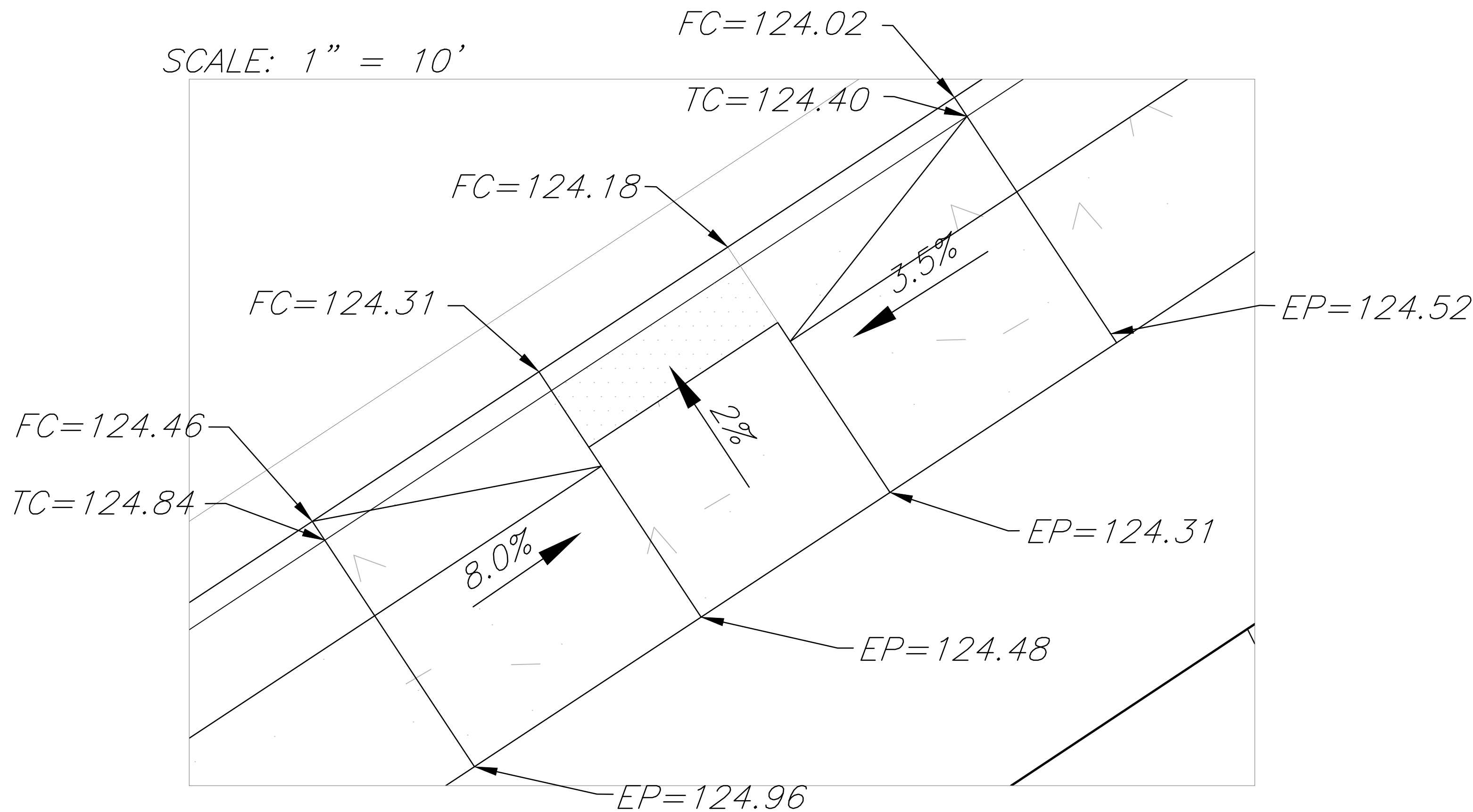
## WATER AND SEWER NOTES

- ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF "STANDARDS, DEPARTMENT OF PUBLIC UTILITIES" (DPU), COUNTY OF HENRICO, VIRGINIA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE DPU CONSTRUCTION DIVISION TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO STARTING ANY WORK ON THIS PROJECT. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
- CONTRACTOR SHALL INCLUDE IN APPLICABLE BID PRICE, COST OF LOCATING AND UNCOVERING ALL SEWER MANHOLES AND VALVE BOXES AFTER COMPLETION OF ALL PAVING AND TO ADJUST THEM TO THE FINAL ROAD GRADES. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR CLEANING OUT SEWER MAINS FOR FINAL INSPECTION, IF NECESSARY.
- EXISTING UTILITIES ACROSS OR ALONG THE LINE OF THE PROPOSED WORK ARE SHOWN ONLY IN AN APPROXIMATE LOCATION ON THE PLANS. CONTRACTOR SHALL, ON HIS OWN INITIATIVE AND NO ADDITIONAL COST, LOCATE ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. CONTRACTOR SHALL CALL "MISS UTILITY" AT 811 PRIOR TO CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND LINES OR STRUCTURES.
- DATUM FOR ALL ELEVATIONS SHOWN IS NATIONAL GEODETIC SURVEY NAVD 88.
- MINIMUM COVER TOP OF WATER PIPE MUST BE 3.50 FEET.
- SERVICE SADDLES MUST BE USED ON WATER CONNECTIONS TO PVC MAINS LESS THAN 6" IN DIAMETER.
- FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH DPU STANDARD DRAWING D-495-1 AND D-495-2.
- ENGINEER SHALL CERTIFY THAT UNPAVED STREETS ARE TO SUBGRADE PRIOR TO CONTRACTOR INSTALLING WATER SYSTEM. CURB AND GUTTER, IF REQUIRED, SHALL BE INSTALLED PRIOR TO ACCEPTANCE OF WATER SYSTEM BY COUNTY.
- NO STRUCTURES OR PLANTING OF TREES SHALL BE PERMITTED IN UTILITY EASEMENTS.
- VANDAL PROOF/WATERTIGHT COVERS SHALL BE USED ON ALL MANHOLES IN EASEMENTS AND IN FLOOD PLAINS. THE MANHOLE COVERS SHALL BE IN ACCORDANCE WITH DUP STANDARD DESIGN DRAWINGS D-150, D-155, AND D-160.
- FINAL ACCEPTANCE BY COUNTY SHALL NOT BE MADE UNTIL ALL WORK SHOWN ON APPROVED UTILITY PLANS IS COMPLETED INCLUDING PAVING, GRADING, AND ALL REQUIRED ADJUSTMENTS.
- A WETLANDS PERMIT MAY BE REQUIRED FROM THE U.S. ARMY CORPS OF ENGINEERS FOR THIS PROJECT. FOR INFORMATION CONCERNING SUCH REQUIREMENT, CONTACT THE CORPS AT (804) 462-5382.
- DPU WILL INSPECT ALL WATER AND SANITARY SEWER MAINS, CONNECTIONS, AND APPURTENANCES THERETO, AS SHOWN ON THE APPROVED UTILITY PLANS, LOCATED WITHIN DEDICATED EASEMENTS AND/OR PUBLIC RIGHTS-OF-WAY. FURTHERMORE, DPU WILL INSPECT ALL PRIVATE SEWER MAINS THROUGH THE LAST MANHOLE. ALL OTHER LINES TO BE INSTALLED ON SITE TO SERVE ROOF DRAINAGE, WATER SUPPLY, AND SANITARY SEWERS SHALL BE APPROVED BY THE DEPARTMENT OF BUILDING INSPECTIONS PRIOR TO INSTALLATION AND SHALL BE INSPECTED BY BUILDING INSPECTIONS BEFORE COVERING.
- CONCURRENT INSPECTIONS BY BUILDING INSPECTIONS AND DPU WILL BE PERFORMED FOR THE FOLLOWING: MAINLINE BACKFLOW PREVENTERS; MONITORING MANHOLES; GREASE TRAPS; EXCLUSION METERS; IRRIGATION METERS. DPU WILL INSPECT TO INSURE THAT THE PROPER TYPE FACILITY, AS SHOWN ON THE APPROVED UTILITY PLANS, HAS BEEN INSTALLED AND TESTED IN ACCORDANCE WITH DPU STANDARDS.

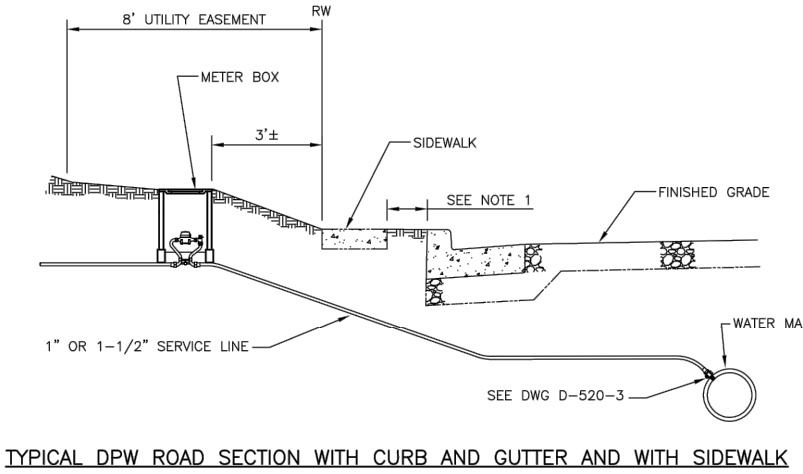
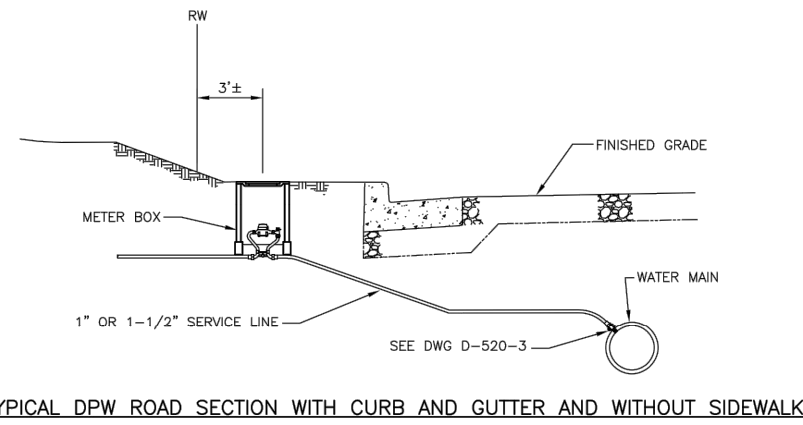
### SITE INSPECTION PORT (S.I.P.) INSTALLATION:

OPTION NO. 1 - OWNER MAY HAVE UTILITY CONTRACTOR INSTALL S.I.P.'S. THEY MUST BE INSTALLED PRIOR TO TENTATIVE ACCEPTANCE BE THE COUNTY.

OPTION NO. 2 - OWNER MAY HAVE PLUMBING CONTRACTOR INSTALL S.I.P.'S. THEY MUST BE INSPECTED BE THE COUNTY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



## COUNTY OF HENRICO DEPARTMENT OF PUBLIC UTILITIES

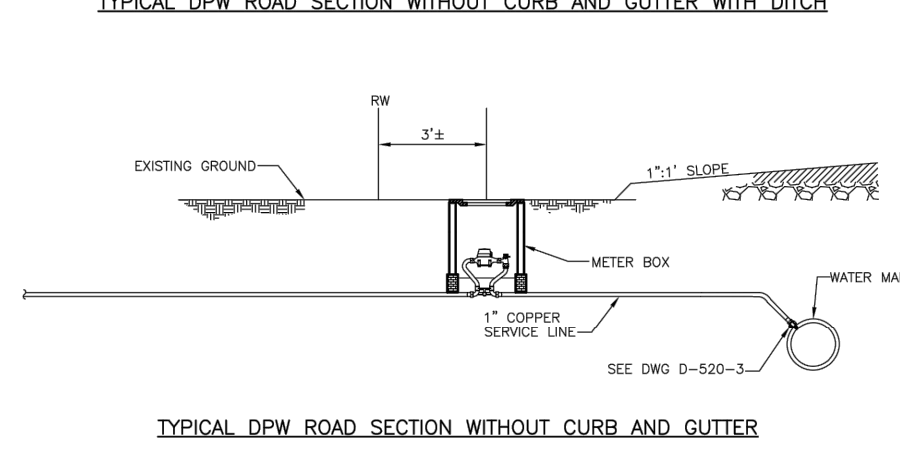
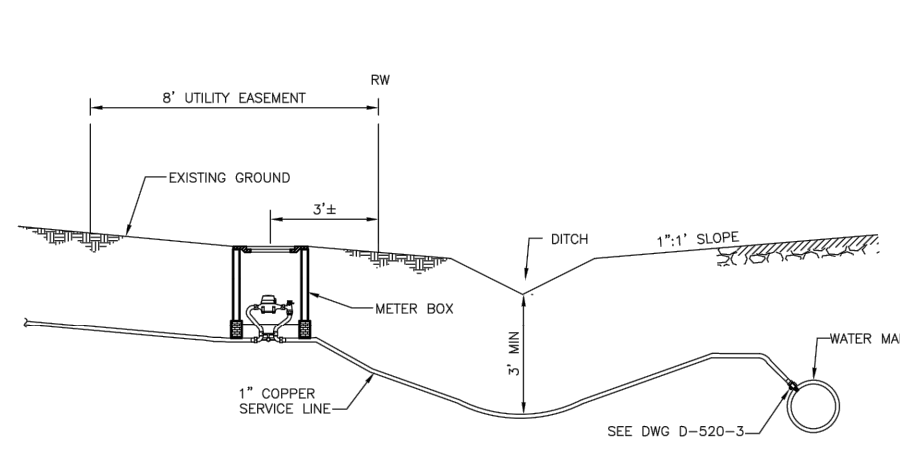


### NOTES:

- WATER METER MAY BE INSTALLED BETWEEN CURB AND SIDEWALK IF THE DISTANCE IS 3' OR MORE.
- ALL WATER BOXES SHALL BE WITHIN THE RIGHT-OF-WAY OR EASEMENT.
- SERVICE SIZES SHALL BE ONE SIZE LARGER THAN THE METER.
- SEE NOTES ON DWG D-520-3.

REVISIONS 06/20/2014	WATER SERVICE INSTALLATION DETAILS FOR 5/8" AND 1" METERS	DRWG. NO. D-520-1
-------------------------	--	----------------------

## COUNTY OF HENRICO DEPARTMENT OF PUBLIC UTILITIES



### NOTES:

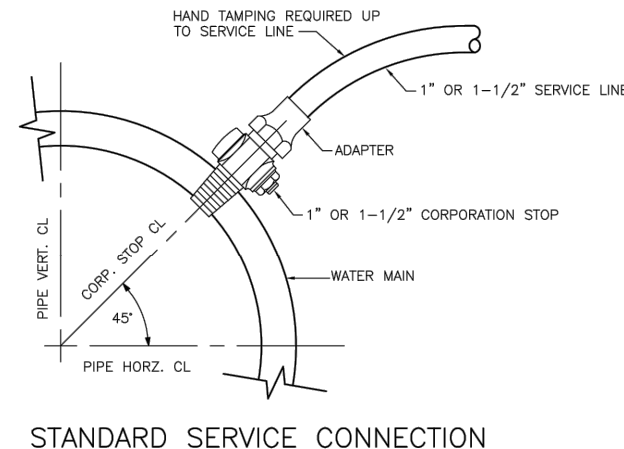
- ALL WATER BOXES SHALL BE WITHIN THE RIGHT-OF-WAY OR EASEMENT.
- SERVICE SIZES SHALL BE ONE SIZE LARGER THAN THE METER.
- SEE NOTES ON DWG D-520-3.

REVISIONS 06/20/2014	WATER SERVICE INSTALLATION DETAILS FOR 5/8" AND 1" METERS	DRWG. NO. D-520-2
-------------------------	--	----------------------

## COUNTY OF HENRICO DEPARTMENT OF PUBLIC UTILITIES

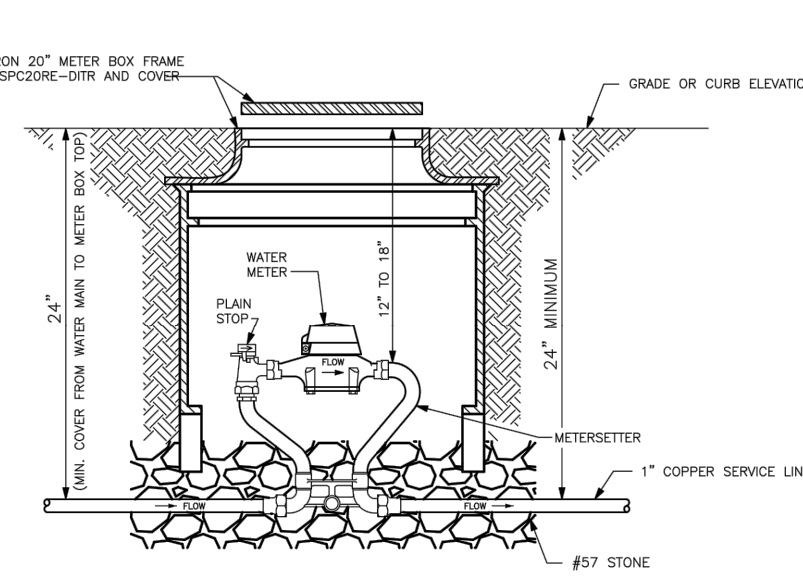
### NOTES:

- SEE "TYPICAL RESIDENTIAL WATER METER LOCATIONS" D-510 FOR HORIZONTAL PLACEMENT OF METER BOXES AND EASEMENT DETAILS.
- METER BOXES INSTALLED OUTSIDE THE RIGHT-OF-WAY SHALL BE INSTALLED INSIDE A PERMANENT DPU UTILITY EASEMENT.
- THE SERVICE LINE BETWEEN THE MAIN AND THE METER WILL BE ONE CONTINUOUS PIECE OF PIPE. (NO JOINTS WILL BE PERMITTED.)
- METER BOXES SHALL NOT BE INSTALLED IN ROAD DITCHES.
- METER BOXES SHALL NOT BE INSTALLED IN ROAD SHOULDERS.
- METER BOXES SHALL NOT BE INSTALLED IN DRIVEWAYS, ROADS, OR ENTRANCES UNLESS TRAFFIC RATED METER BOX, TOP, AND LID ARE USED. THE METER BOX, TOP, AND LID MUST BE APPROVED BY DPU PRIOR TO INSTALLATION.
- MINIMUM DEPTH OF COVER OVER WATER SERVICE SHALL BE 36" EXCEPT AS SHOWN AT METER BOX ENTRANCE IN DWG D-525.
- WATER SERVICE WILL CROSS OVER STORM SEWER PIPES WITH A MINIMUM OF 6" CLEARANCE BETWEEN PIPES.



REVISIONS 06/20/2014	WATER SERVICE INSTALLATION DETAILS FOR 5/8" AND 1" METERS	DRWG. NO. D-520-3
-------------------------	--	----------------------

## COUNTY OF HENRICO DEPARTMENT OF PUBLIC UTILITIES



### NOTES:

- ALL WATER METERS TO BE FURNISHED & INSTALLED BY THE COUNTY.
- ALL METERSETTERS PROVIDED FOR 5/8" AND 1" METERS SHALL HAVE REMOVABLE PACK JOINTS SUITABLE FOR COPPER PIPE.
- ALL METERSETTERS SHALL HAVE SADDLE NUTS, PADLOCK WINGS, AND SHALL BE SIMILAR TO FORD OR MUELLER.

REVISIONS 06/20/2014	STANDARD METER BOX INSTALLATION FOR 5/8" AND 1" METERS	DRWG. NO. D-525
-------------------------	---	--------------------

SUB2008-00101



www.balzer.cc

Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

15871 City View Drive

Suite 200

Midlothian, VA 23113

804-794-0571

FAX 804-794-2635



FOXHILL CROSSING  
SUBDIVISION

UTILITY NOTES & DETAILS

VARINA DISTRICT  
HENRICO COUNTY, VIRGINIA

DRAWN BY BMS

DESIGNED BY BMS

CHECKED BY FCP

DATE 4-2-08

SCALE N/A

REVISIONS:

6-11-08

7-10-08

8-7-08

7-7-17

8-24-17

03-05-18

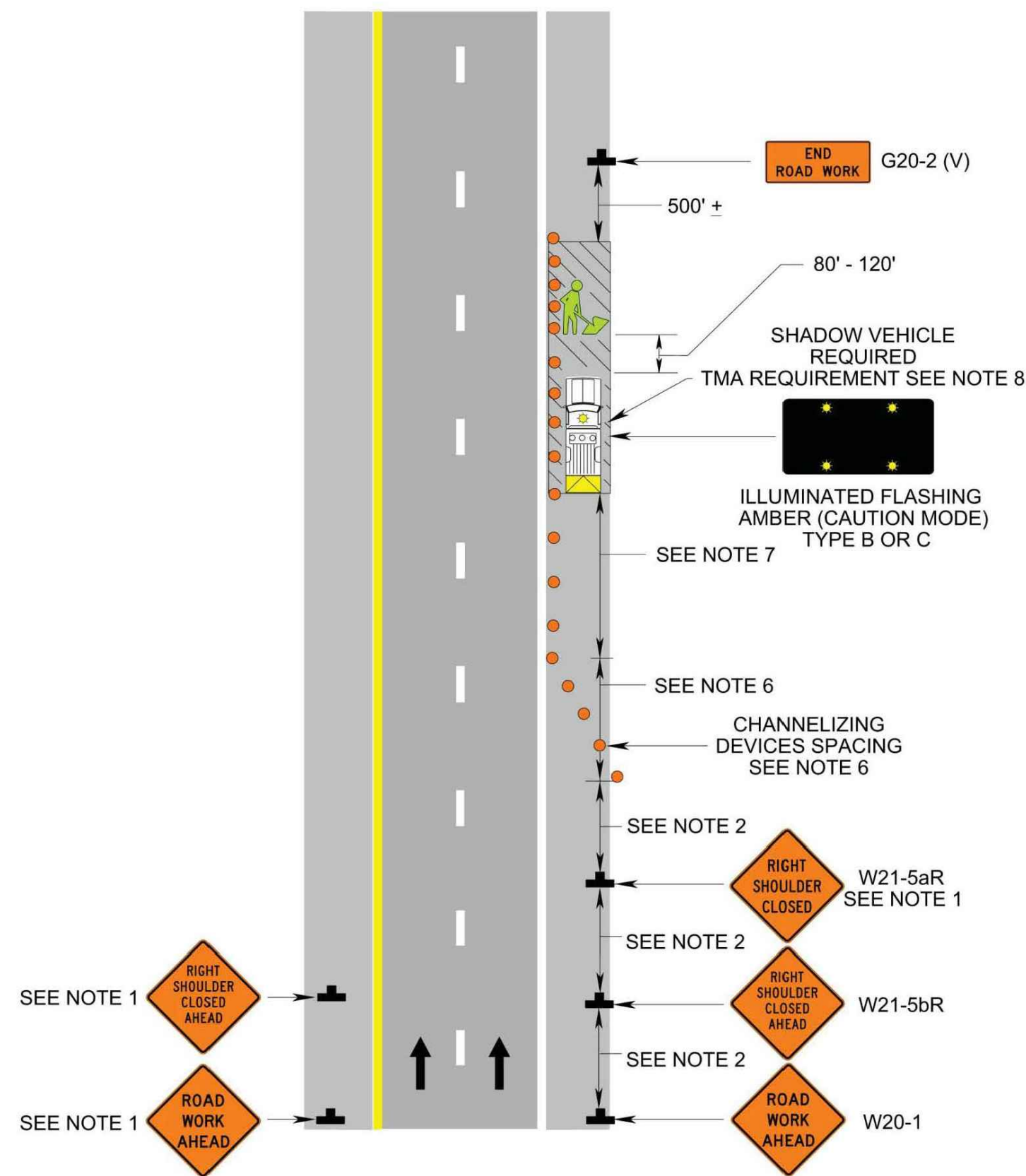
10-8-18

SHEET NO.

11 of 14

JOB NO. C0700426.01



**Stationary Operation on a Shoulder  
(Figure TTC-4.0)****Typical Traffic Control  
Stationary Operation on a Shoulder  
(Figure TTC-4.0)****NOTES****Standard**

- For long-term stationary work (more than 3 days) on divided highways having a median wider than 8', sign assemblies on both sides of the roadway shall be required as shown (ROAD WORK AHEAD (W20-1), RIGHT SHOULDER CLOSED AHEAD (W21-5bR)), even though only one shoulder is being closed. For operations less than 3 days in duration, sign assemblies will only be required on the side where the shoulder is being closed and a RIGHT SHOULDER CLOSED AHEAD (W21-5bR) sign shall be added to that side.

**Guidance**

- Sign spacing should be 1300'-1500' for Limited Access highways. For all other roadways, the sign spacing should be 500'-800' where the posted speed limit is greater than 45 mph, and 350'-500' where the posted speed limit is 45 mph or less.

**Option:**

- The SHOULDER WORK (W21-5) sign on an intersecting roadway may be omitted where drivers emerging from that roadway will encounter another advance warning sign prior to this activity area.
- For short duration operations of 1 hour or less, all signs and channelizing devices may be eliminated if a vehicle with activated high-intensity amber rotating, flashing, oscillating, or strobe lights is used.

**Standard:**

- Vehicle hazard warning signals shall not be used instead of the vehicle's high-intensity amber rotating, flashing, oscillating, or strobe lights. Vehicle hazard warning signals can be used to supplement high-intensity amber rotating, flashing, oscillating, or strobe lights.
- Taper length (L) and channelizing device spacing shall be at the following:

Taper Length (L)				
Speed Limit (mph)	Lane Width (Feet)			
	9	10	11	12
25	95	105	115	125
30	135	150	165	180
35	185	205	225	245
40	240	270	295	320
45	405	450	495	540
50	450	500	550	600
55	495	550	605	660
60	540	600	660	720
65	585	650	715	780
70	630	700	770	840
Minimum taper lengths for Limited Access highways shall be 1000 feet.				
Shoulder Taper = 1/2 L Minimum				

Channelizing Device Spacing		
Location	Speed Limit (mph)	
	0 - 35	36 +
Transition Spacing	20'	40'
Travelway Spacing	40'	80'
Construction Access*	80'	120'

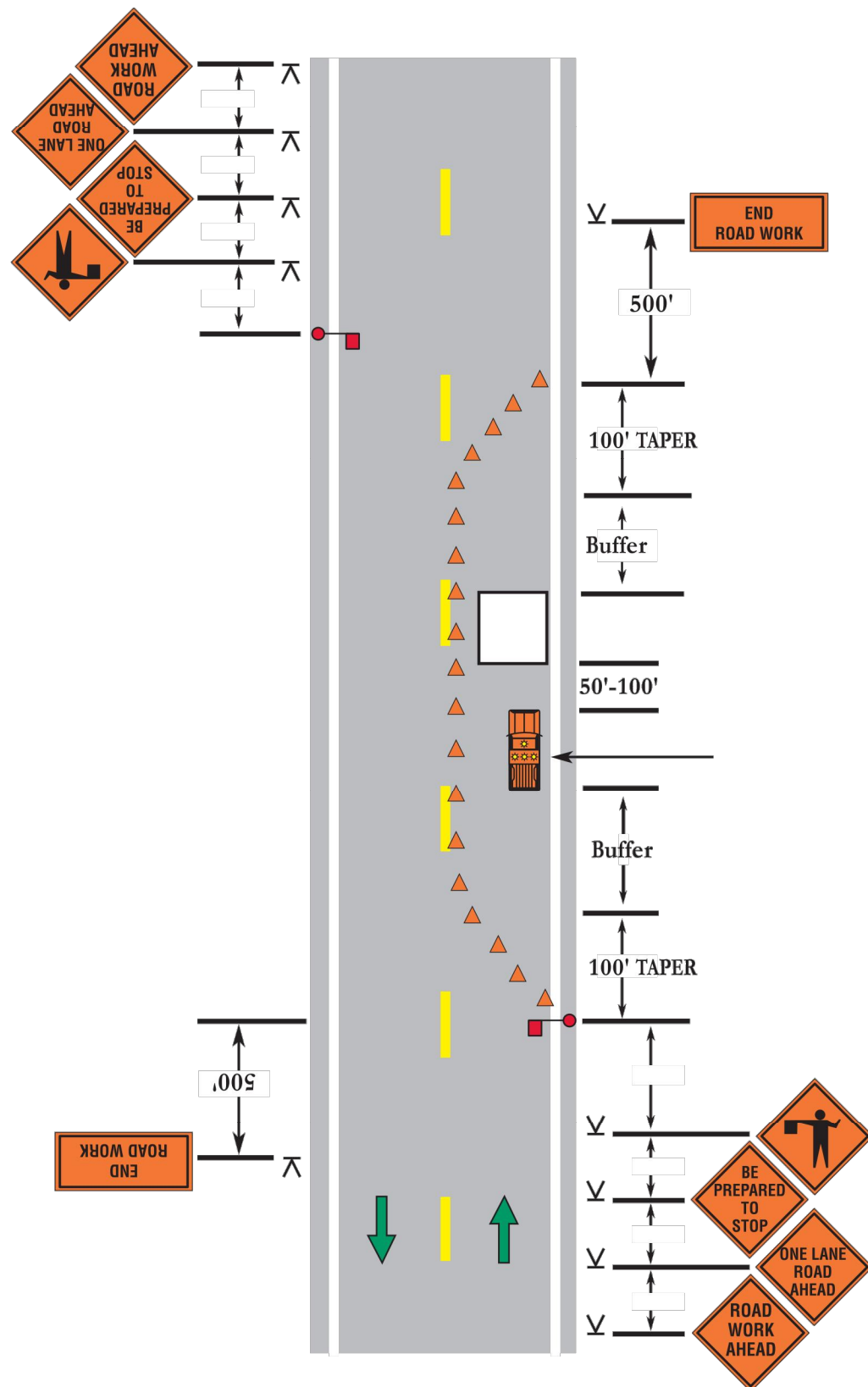
\* Spacing may be increased to this distance, but shall not exceed one access per 1/4 mile.

On roadways with paved shoulders having a width of 8 feet or more, channelizing devices shall be used to close the shoulder in advance of the merging taper to direct vehicular traffic to remain within the traveled way.

- The buffer space length shall be as shown in Table 6H-3 on Page 6H-5 for the posted speed limit.
- A shadow vehicle shall be used whenever a person is required to operate equipment mounted on or in the work vehicle such as buckets, augers, post drivers, etc. For work operations on the shoulder with a duration greater than 1 hour where workers are present, a shadow vehicle shall be used. A truck-mounted attenuator (TMA) shall be used on the shadow vehicle on Limited Access highways and multi-lane roadways with posted speed limit equal to or greater than 45 mph.
- When a side road intersects the highway within the temporary traffic control zone, additional traffic control devices shall be placed as needed.

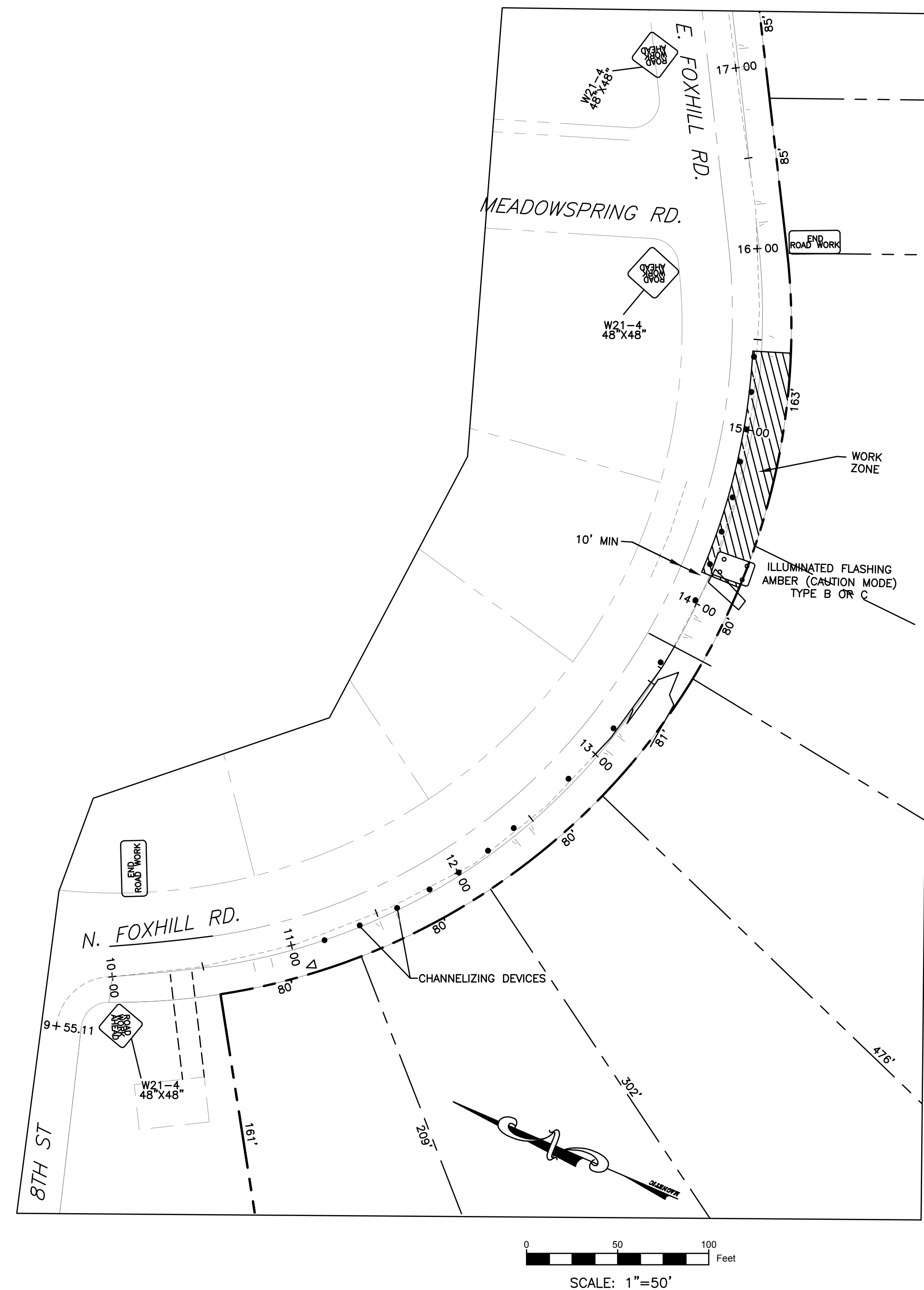
**Two-lane Road -  
Stationary Closure**

(Two Flagger Operation)

**Two-lane Road -  
Stationary Closure****Notes:**

- Sign spacing: posted speed greater than 45 mph 500' - 800'; posted speed 45 mph or less 350' - 500'; see spacing of signs for urban use on page 6.
- The cone transition length shall be 100' maximum in length.
- All flaggers shall be state certified and have their certification card in their possession when flagging.
- Flagging stations should be located with a desired clear site distance of 500' in advance of the flagger.
- A shadow vehicle with at least one rotating amber light or high intensity amber strobe light shall be parked 50'-100' in advance of the first work crew.
- For length of the buffer, see Buffer Space Length Chart on page 14.

Cone Spacing		
Location	0-35 mph	36 + mph
Transition	20'	40'
Travelway	40'	80'





**TYPICAL ROADWAY SECTION WITHOUT CURB AND GUTTER**

**TYPICAL ROADWAY SECTION WITH CURB AND GUTTER**

EXTENSION OF SUBGRADE OR 2' MIN., WHICHEVER IS GREATER

MINIMUM PAVEMENT DESIGN REQUIREMENT			
SUBGRADE		SURFACE	
1% MINIMUM	2% MINIMUM	1% MINIMUM	2% MINIMUM
SURFACE MATERIAL	BASE MATERIAL	SURFACE MATERIAL	BASE MATERIAL

- THE SHOULDER WIDTH (NOV CURB AND GUTTER) OR PROTECTION BELT (CURB AND GUTTER) SHALL BE ASSURED TO BE SUFFICIENT BEHIND THE FRONT-OF-WAY, WITH A PERMANENT DESIGN PROPOSED TO COVER THE INSTALLATION OF GROUNDWATER, WHEN NEEDED.
- THE PERMANENT DESIGN SHALL BE BASED ON A MINIMUM CBR VALUE OF 10. INCREASES TO THE SPECIAL DESIGN SHALL BE APPROVED AT THE TIME OF CONSTRUCTION.
- PERMANENT DESIGN SHALL BE APPROVED BY THE COMMISSIONER OF PUBLIC WORKS.
- IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH SLOPE SPECIFICATIONS AND THE REQUIREMENTS OF THIS MANUAL.

- MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MOORE, BROWN AND BERKELEY SPECIFICATIONS AND STANDARDS, EXCEPT WHERE OTHER STANDARDS ARE APPLICABLE.
- IF A PROTECTION SYSTEM IS PROPOSED WITH THE RIGHT-OF-WAY LIMITS, AN UNDERDRAIN SYSTEM MUST BE PROVIDED ADJACENT TO THE CURB AND GUTTER, AND A WARNING SIGNAGE MUST BE PROVIDED BETWEEN THE DEVELOPER AND THE COUNTY OF HENRICO.
- A UTILITY CROSS SECTION WITH AND PERMANENT DESIGN ARE REQUIRED FOR ALL ADJACENTS.
- ALL BARRIERS, OTHER CURB SHALL BE DESIGNED AND HAVE A PERMANENT STATION OF GRASS AS A MINIMUM OF 10 FEET FROM THE FRONT-OF-WAY. THE PERMANENT DESIGN SHALL BE BASED ON A MINIMUM CBR VALUE OF 10. INCREASES TO THE SPECIAL DESIGN SHALL BE APPROVED AT THE TIME OF CONSTRUCTION.
- PERMANENT DESIGN SHALL BE APPROVED BY THE COMMISSIONER OF PUBLIC WORKS.
- IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH SLOPE SPECIFICATIONS AND THE REQUIREMENTS OF THIS MANUAL.

**TYPICAL SECTION - CLASSIFICATION III**  
**(401-750 VPD)**  
 County of Henrico  
 Department of Public Works

JANUARY 1, 2002  
 HENTYPSEC-CL-3.DWG

<div>BALZER AND BÖHLER BVNLO</div>											
		HYDRA									
		REFLECTING TORQUE									
INLET STATION	OUTLET WATER SURFACE ELEV.	Do	Qo	Lo	Sfo	Hf					
							Vo	Ho			
7 • 5	110.14	36"	51.22	85.46	0.59	0.50	11.24	0.49	5		
5 3	118.14	36"	50.02	53.97	0.56	0.30	15.90	0.98	5		
3 1	119.87	36"	50.12	133.44	0.56	0.75	9.03	0.32	5		
1 EX	121.37	36"	50.32	128.73	0.57	0.73	8.90	0.31	5		
EX	125.50	36"	50.42	138.48	0.57	0.79	15.94	0.99			

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

HENRICO COUNTY ENVIRONMENTAL COMPLIANCE MANUAL				
<b>WORKSHEET 14.09 - PROGRAM IMPLEMENTATION</b>				
PROJECT NAME		FOXHILL CROSSING		<input checked="" type="checkbox"/> Substation <input type="checkbox"/> PDD
PROJECT DESCRIPTION		SINGLE FAMILY		Tax Parcel 80-111-1014
WATERSHED (circle one)		JAMES RIVER		CHICKAHOMINY RIVER
SUB-WATERSHED		WHITE OAK SWAMP (UPPER)		
STREAM PRESENT ON-SITE?	PARCEL SIZE (acres)	PRE- DEVELOPMENT IMPERVIOUS COVER (%)	POST- DEVELOPMENT IMPERVIOUS COVER (%)	POLLUTANT REMOVAL REQUIREMENT
YES NO	13.17	0	3.41	0
<b>APPLICABLE REQUIREMENTS</b>				
WATERSHED MANAGEMENT AREA (circle one)	DESIGNATE STREAM PROTECTION AREAS	PROVIDE FORESTED STREAM PROTECTION AREAS	PROVIDE ENERGY DISIPATORS AT OUTFALLS THAT DISCHARGE TO STREAM PROTECTION AREAS	ADDRESS POLLUTANT REMOVAL REQUIREMENT WITH A BMP
WATERSHED PRESERVATION AREA				
WATERSHED ENHANCEMENT AREA				✓
WATERSHED RESTORATION AREA				
URBAN MANAGEMENT AREA				
Submitted by:		RALBER & ASSOCIATES, INC.		Date: 10-27-2017
Approved by:				Date:

CITY	FLOW TIME (MINUTES)	PERCENT CAPACITY
04	0.14	0.44
00	0.24	0.90

SECTION - 1

**HENRICO COUNTY ENVIRONMENTAL COMPLIANCE MANUAL**

**WORKSHEET 14.08 – ENVIRONMENTAL FUND CONTRIBUTION**

PROJECT NAME	FOXHILL CROSSING	<input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> PUD
PROJECT DESCRIPTION	SINGLE FAMILY	See Parcel 20-019-0594

POLLUTANT REMOVAL REQUIREMENT (from WQA/CAR/ET 3.10)	0 (A)
---	----------

IS FORESTED STREAM PROTECTION AREA PROVIDED IN ACCORDANCE WITH MINIMUM DESIGN STANDARD 14.10?	YES NO
---	--------

LENGTH OF FORESTED STREAM PROTECTION AREA PROVIDED (feet)	0 (B)
--	----------

ARE ENERGY DISSIPATORS PROVIDED IN ACCORDANCE WITH MINIMUM DESIGN STANDARD 14.01?	YES NO
---	--------

NUMBER OF ENERGY DISSIPATORS PROVIDED	0 (C)
---------------------------------------	----------


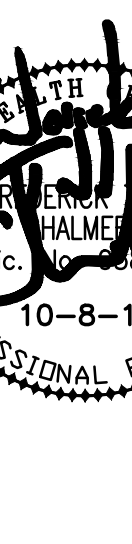
CONTRIBUTION FOR POLLUTANT REMOVAL REQUIREMENT	=	\$9000.00	X	0 (A)	=	0 (D)
ADJUSTMENT FOR FORESTED STREAM PROTECTION AREA	=	\$2.30	X	0 (B)	=	0 (E)
ADJUSTMENT FOR ENERGY DISSIPATORS	=	\$800.00	X	0 (C)	=	0 (F)

(round (D), (E), and (F) to nearest dollar)

TOTAL CONTRIBUTION TO ENVIRONMENTAL FUND	=	0 (G)	-	0 (E)	-	0 (F)	=	0
--	---	----------	---	----------	---	----------	---	---

Submitted by:	BALZER & ASSOCIATES, INC.	Date:	10-27-2017
Approved by:		Date:	

**TECHNICAL CRITERIA FOR GRANDFATHERED  
AND PREVIOUSLY PERMITTED PROJECTS  
ENVIRONMENTAL FUND CONTRIBUTION - 1**

 <p><b>BALZER</b> AND ASSOCIATES, INC. REFLECTING TOMORROW</p> <p><b>www.balzer.cc</b></p>		
<p>Richmond New River Valley Roanoke Staunton Harrisonburg</p>		
<p>RESIDENTIAL LAND DEVELOPMENT ENGINEERING SITE DEVELOPMENT ENGINEERING LAND USE PLANNING &amp; ZONING LANDSCAPE ARCHITECTURE LAND SURVEYING ARCHITECTURE STRUCTURAL ENGINEERING TRANSPORTATION ENGINEERING ENVIRONMENTAL &amp; SOIL SCIENCE WETLAND DELINEATIONS &amp; STREAM EVALUATIONS</p>		
<p><b>Balzer and Associates, Inc.</b></p>		
<p>15871 City View Drive Suite 200 Midlothian, VA 23113 804-794-0571 FAX 804-794-2635</p>		
		
<p>10-8-18</p>		
<p>FOXHILL CROSSING SUBDIVISION</p>		
<p>NOTES, DETAILS &amp; CALCULATIONS</p>		
<p>VIRGINIA DISTRICT HENRICO COUNTY, VIRGINIA</p>		
<p><b>DRAWN BY</b> <u>BMS</u></p>		
<p><b>DESIGNED BY</b> <u>BMS</u></p>		
<p><b>CHECKED BY</b> <u>FCP</u></p>		
<p><b>DATE</b> <u>4-2-08</u></p>		
<p><b>SCALE</b> <u>N/A</u></p>		
<p><b>REVISIONS:</b> 6-11-08 7-10-08 8-7-08 7-7-17 8-24-17 10-27-17 03-05-18 10-8-18</p>		
<p><b>SHEET NO.</b></p>		
<p><b>12 of 14</b></p>		
<p><b>JOB NO. C0700426.01</b></p>		





R. Joseph Emerson, Jr., AICP  
Director of Planning  
(804) 511-6022

COMMONWEALTH OF VIRGINIA  
COUNTY OF HENRICO

January 8, 2009

Mr. Brandon Sovick  
Balzer & Associates, Inc.  
880 Technology Park Drive  
Glen Allen, VA 23059

Re: SUB-05-08  
Tidemark # SUB2008-00013  
Foxhill Crossing  
8 Lots

Sir:

As designated agent of the Board of County Supervisors for the final review and approval of the subdivision of land, I hereby approve the final plat of this subdivision on **June 2, 2008**, subject to the following conditions:

1. All requirements of Chapters 18, 19, and 24 of the Henrico County Code shall be met.
2. The final plat shall be checked and approved by the Real Estate Assessment Office before the plat is recorded.
3. Construction shall not commence until the construction plans including the detailed drainage, erosion control, and utility plans have been approved by the Department of Planning and the Department of Public Works and a preconstruction meeting has been conducted with the Department of Public Works. Upon notice from the Department of Planning to the Engineer that all comments have been addressed, twenty-one (21) sets of final construction plans for signature shall be submitted to the Department of Planning for approval signatures. All erosion and sediment control plans, agreements, and bonds must be submitted to the Department of Public Works and approved prior to approval of the construction plans. Approvals must be updated prior to recordation of the plat.
4. Clearing and grubbing shall not commence until a clearing and grubbing plan has been approved by the Department of Planning and the Department of Public Works, and a preconstruction meeting has been conducted with the Department of Public Works. Upon notice from the Department of Planning to the Engineer that all comments have been addressed, eight (8) sets of clearing and grubbing plans shall be submitted to the Department of Planning for approval signatures. All appropriate bonds and agreements, authorizations from state and/or regulatory agencies for impacts to the Waters of the United States, and offsite easement plats must be submitted to the Department of Public Works and approved prior to approval of the clearing and grubbing plans. Approvals must be updated prior to recordation of the plat.
5. If the conditional plan was approved by the Planning Commission after July 13, 1994 and a BMP is required, a BMP maintenance fee of \$100 per lot payable to the County of Henrico must be submitted to the Department of Public Works prior to recordation of the plat.

PARHAM AND HUNGARY SPRING ROADS / P.O. BOX 90775 / HENRICO, VIRGINIA 23273-0775

Mr. Brandon Sovick  
January 9, 2009  
Page 2

6. If all or part of the stormwater quality pollutant removal requirement is achieved through a contribution to the Environmental Fund, the contribution made payable to the county of Henrico must be submitted to the Department of Public Works prior to the recordation of the plat.
7. Prior to the recordation of the plat, a completion bond approved by the County Attorney with completion date two years from the date of the submission of bond, or cashier's check shall be furnished to cover the estimated cost of improvements.
8. An approved set of construction plans shall be available at the site at all times when work is being performed. A designated responsible employee shall be available for contact by County Inspectors.
9. The Department of Public Works and Department of Public Utilities shall be notified at least 48 hours prior to the start of any construction.
10. Upon completion of the installation of all improvements, the subdivider shall furnish a statement by a certified surveyor or engineer, to the effect that all construction is in substantial conformity to the regulations and requirements of the Henrico County Code.
11. The owner shall enter into the necessary contracts with the Department of Public Utilities for water.
12. The owner shall enter into the necessary contracts with the Department of Public Utilities for sewer.
13. A copy of the letter from the Richmond Regional Planning District Commission giving approval to the street names in this subdivision shall be submitted to the Department of Planning before the linens are submitted for recordation.
14. Signatures on plats for recordation shall be in opaque black ink suitable for reproduction.
15. The plat shall be revised as shown in red on Staff plan dated **June 2, 2008**, which shall be as much a part of this approval as if all details were fully described herein.
16. The final plat shall be recorded by **June 2, 2009**, after which this subdivision approval shall become null and void unless you submit your reason(s) in writing why a request for an extension of approval is necessary and an extension is granted by the Director of Planning. Your written request and the required fee must be submitted at least two weeks prior to the expiration date. When construction plans have been approved, final approval may be extended pursuant to Sections 15.2-2261 of the Code of Virginia, as amended.
17. Lots on the plat marked with an asterisk or asterisks indicate lots with limitations for dwellings shape, size, and location and must be identified on the recordation plat with an asterisk or asterisks along with the corresponding standard note(s) conspicuously added under the headings "Notes."
18. The name of this development, as designated in this approval, shall be the name used for marketing and public recognition purposes. A written request for a name change must be received and approved by the Department of Planning before such a change can be implemented.

Mr. Brandon Sovick  
January 9, 2009  
Page 3

Also, you should be aware that a permit or permits may be required from the Virginia Department of Environmental Quality (DEQ). Please contact the DEQ at 804-527-5025 to determine the permit requirements for your proposed project.

Sincerely,

R. Joseph Emerson, Jr., AICP  
Director of Planning

pc: Public Utilities - Chief Design Engineer  
Director of Public Works  
Mark Rempe, Emerald Development



COMMONWEALTH OF VIRGINIA  
COUNTY OF HENRICO

February 27, 2008

RE: SUB-05-08  
Foxhill Crossing  
(February 2008 Plan)  
8 Lots

Big Green Mountain, LLC  
1718 E. Cary Street  
Richmond, VA 23223

Gentlemen:

As designated agent of the Board of County Supervisors for such purposes, the Planning Commission at its meeting on **February 27, 2008**, granted conditional approval to this subdivision, subject to the following conditions:

1. All requirements of Chapter 18, 19, and 24 of the Henrico County Code shall be met.
2. Construction plans, including proposed erosion and sediment controls, shall be submitted to the Department of Planning at least 30 days prior of final approval.
3. Construction shall not commence until the Director of Planning has granted final approval of the plat; and until the construction plans including the detailed drainage, erosion control, and utility plans have been approved by the Department of Planning, the Department of Public Utilities, and the Department of Public Works and a preconstruction meeting has been held with the Department of Public Works. Plans for Final Subdivision review shall be submitted to the Department of Planning in accordance with the requirements of the Final Subdivision application. Upon notice from the Department of Planning to the Engineer that all comments have been addressed, twenty-one (21) sets of final construction plans for signature shall be submitted to the Department of Planning for approval signatures. All erosion and sediment control plans, agreements, and bonds must be submitted to the Department of Public Works and approved prior to approval of the construction plans.

PARHAM AND HUNGARY SPRING ROADS/P. O. BOX 27032/RICHMOND, VIRGINIA 23273

PLANNING COMMISSION  
E. Ray Jernigan, C.P.C., Chairperson  
Bonnie Leigh Jones, Vice-Chairperson  
Ernest B. Vansardall, C.P.C.  
C. W. Archer, C.P.C.  
Tommy Bratin  
Richard W. Glover, Board of Supervisors  
Representative  
R. Joseph Emerson, Jr., AICP, Acting  
Secretary

Big Green Mountain, LLC  
February 27, 2008  
Page 2

4. Clearing and grubbing shall not commence until a clearing and grubbing plan has been approved by the Department of Planning and the Department of Public Works. Upon notice from the Department of Planning to the Engineer that all comments have been addressed, eight (8) sets of clearing and grubbing plans shall be submitted to the Department of Planning for approval signatures. All appropriate bonds and agreements, authorizations from state and/or regulatory agencies for impacts to the Waters of the United States, and offsite easement plats must be submitted to the Department of Public Works and approved prior to approval of the clearing and grubbing plans. Approvals must be updated prior to recordation of the plat.
5. The owner shall enter into the necessary contracts with the Department of Public Utilities for water.
6. The owner shall enter into the necessary contracts with the Department of Public Utilities for sewer.
7. A copy of the letter from the Richmond Regional Planning District Commission giving approval to the street names in this subdivision shall be submitted to the Department of Planning before the recordation plat is submitted for review.
8. The plat shall be revised as shown in red on Staff plan dated **February 27, 2008**, which shall be as much a part of this approval as if all details were fully described herein.
9. This approval shall expire on **February 25, 2009**, unless an extension is requested in writing stating the reason such extension is necessary. The request shall include the fee and must be filed a minimum of two weeks prior to the expiration date.
10. The name of this development, as designated in this approval, shall be the name used for marketing and public recognition purposes. A written request for a name change must be received and granted by the Department of Planning before such a change can be implemented.
11. The conditional approval of this plat by the Planning Commission does not imply that all lots shown thereon will be granted final approval. Such approval is contingent on each lot meeting a number of requirements including but not limited to minimum zoning requirements, Health Department requirements as applicable, and design considerations.
12. Prior to a request for final approval, the developer shall provide a buildable area plan showing information for all lots within the subdivision. Such plan shall be a part of the construction plans submitted for review and for signature. The buildable area plan shall be a minimum of 1" to 50' scale or larger and shall show the buildable area for the principal structure, all setback dimensions, the minimum lot width (perpendicular to the center line of the lot at the front building line), and if applicable, any Special Flood Hazard Areas (floodplains) and the area of each lot exclusive of floodplain, wetlands, easements, buffers, Chesapeake Bay Act Areas, wells and primary/reserved drainfields.

Big Green Mountain, LLC  
February 27, 2008  
Page 3

13. The limits and elevation of the Special Flood Hazard Area shall be conspicuously noted on the plat and construction plans and labeled "Limits of Special Flood Hazard Area." Dedicate the Special Flood Hazard Area as a "Variable Width Drainage & Utilities Easement."
14. Prior to requesting recordation, the developer must furnish a letter from **Dominion Virginia Power**, stating that this proposed development does not conflict with its facilities.
15. A County standard sidewalk and curb and gutter shall be constructed along the south side of East Foxhill Road Road.

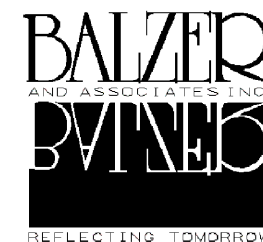
Also, you should be aware that a permit may be required from the State Department of Environmental Quality (DEQ). Please contact the DEQ at 527-5020 to determine the requirements for your proposal.

There may be a requirement for a Wetlands Permit from the U. S. Army Corps of Engineers. Further information on such a requirement should be obtained by contacting the Corps at 323-3781.

Sincerely,

R. Joseph Emerson, Jr., AICP  
Acting Director of Planning

cc: Public Utilities (Ralph E. Claytor)  
Balzer & Associates, Inc.



January 22, 2018

Jen Cobb  
Engineering & Environmental Services Division director  
Department of Public Works  
P.O. Box 27032  
Richmond, Virginia 23273

Re: Jurisdictional Channels on Foxhill Crossing

Dear Ms. Cobb,

As part of the design phase for the above subject project, we have contacted the U.S. Army Corps of Engineers concerning the channels shown on the attached plan. The U.S. Corps of engineers has determined these channels are within their jurisdiction.

We expressed the County's desire to have these channels piped or otherwise eliminated. The U.S. Army Corps of Engineers determined these jurisdictional channels should not be piped and impacts are to be avoided. They also determined impacting these channels and providing associated mitigation was not an option.

We are providing the U.S. Army Corps of Engineers with a copy of this letter and the above mentioned plan sheet.

Sincerely,

BALZER AND ASSOCIATES, INC.

F. Cameron Palmore, P.E., L.S.

Associate

c: Silvia Gazzera, U.S. Army Corps of Engineers  
Alexandria Gruendl, Henrico County Department of Public Works



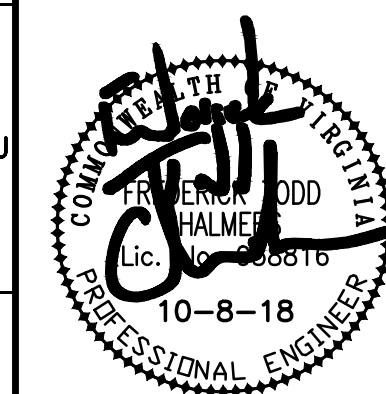
www.balzer.cc

Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

15871 City View Drive  
Suite 200  
Midlothian, VA 23113  
804-794-0571  
FAX 804-794-2635



FOXHILL CROSSING  
SUBDIVISION

APPROVAL LETTERS

VIRGINIA DISTRICT  
HENRICO COUNTY, VIRGINIA

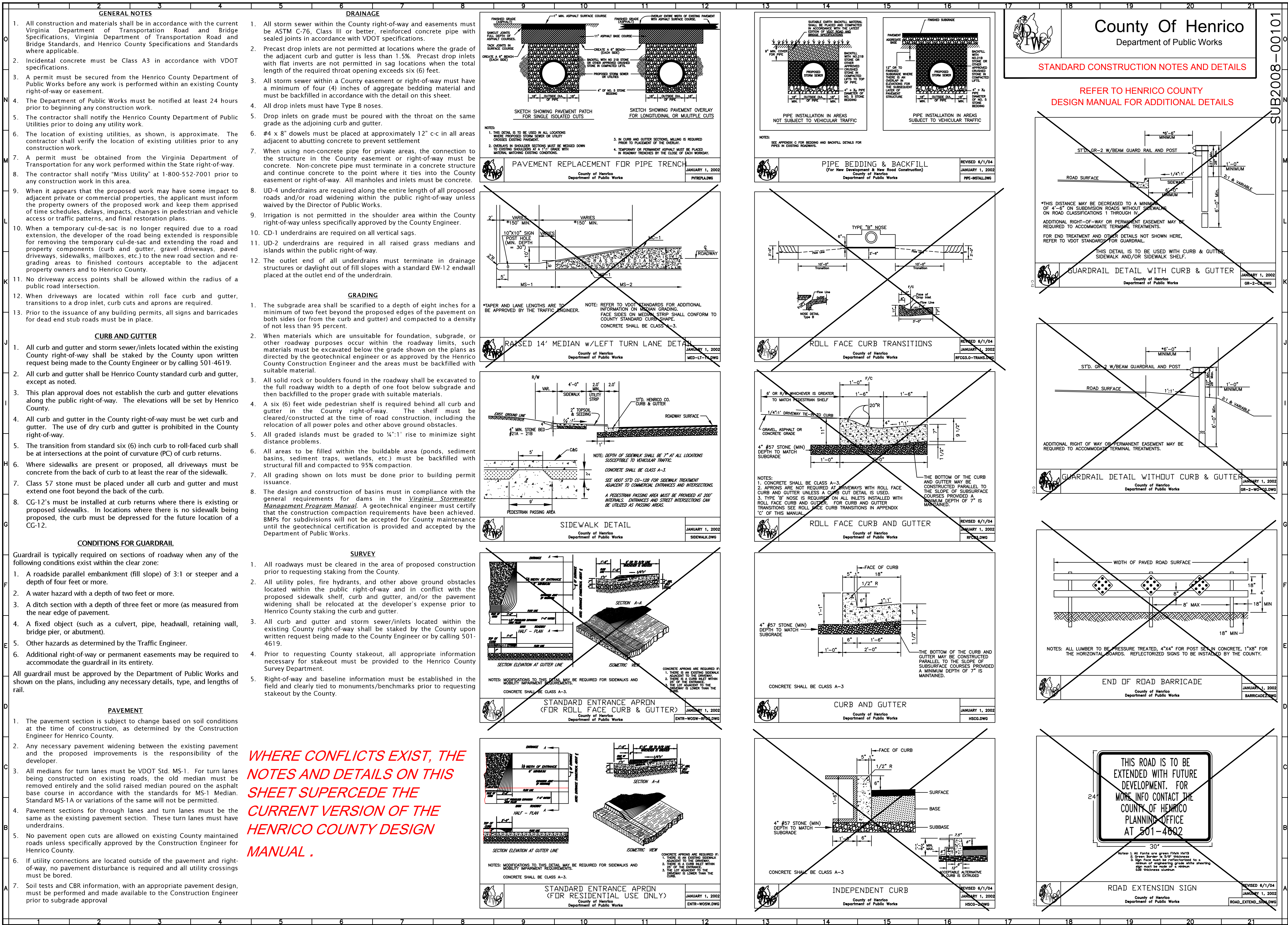
DRAWN BY BMS  
DESIGNED BY BMS  
CHECKED BY FCP  
DATE 10-6-17  
SCALE N/A  
REVISIONS:  
03-05-18  
10-8-18

SHEET NO.

12.1 of 14

JOB NO. C0700426.01







PURPOSE

4VAC50-60-54 of the Virginia Stormwater Management Program (VSMP) Permit Regulations requires that Stormwater Pollution Prevention Plan (SWPPP) be developed for all regulated land disturbing activities. The SWPPP must include, but not be limited to, an approved erosion and sediment control plan, an approved stormwater management plan, and this **Pollution Prevention Plan (PPP)** for regulated land disturbing activities, and a description of any additional control measures necessary to address a TMDL as applicable.

The plan for implementing pollution prevention measures during construction activities developed on this sheet must be implemented and updated as necessary. Any PPP requirements not included on this sheet must be incorporated into the SWPPP required by 4VAC50-60-54 that must be developed before land disturbance commences. This PPP identifies potential sources of pollutants that may reasonably be expected to affect the quality stormwater discharges from the construction site (both on- and off-site activities) and describes control measures that will be used to minimize pollutants in stormwater discharges from the construction site.

OTHER REFERENCED PLANS

SWPPP requirements may be fulfilled by incorporating, by reference, other plans. All plans incorporated by reference become enforceable under the VSMP Permit Regulations and General Permit VAR10 for Discharges of Stormwater from Construction Activities. If a plan incorporated by reference does not contain all of the required elements of the PPP, the operator must develop the missing elements and include them in the SWPPP.

Independent Plans Incorporated by Reference	Date Approved
Stormwater Management Plans (Regional or Master)	
Spill Prevention, Control, and Countermeasure Plans	
Off-Site Stockpile	
Off-Site Borrow Area	

POTENTIAL POLLUTANT SOURCES

The following sources of potential pollutants must be addressed in the Pollution Prevention Plan. Various controls and/or measures designed to prevent and/or minimize pollutants in stormwater discharges from the project site must be applied to the sources found on the site. Additional information concerning the following controls and/or measures may be found in the SWPPP. Deviations from the location criteria may be approved by the Henrico County Environmental Inspector.

LEAKS, SPILLS, AND OTHER RELEASES

- The operator(s) shall ensure procedures are in place to prevent and respond to all leaks, spills and other releases of pollutants.
- The operator(s) shall ensure all leaks, spills and other releases of pollutant are contained and cleaned immediately upon discovery. Any contaminated materials are to be disposed in accordance with federal, state, and/or local requirements.
- The operator(s) shall ensure spill containment kits containing appropriate materials (e.g., absorbent material and pads, brooms, gloves, sand, etc.) are available at appropriate locations, including, but not limited to: designated areas for vehicle and equipment maintenance; vehicle and equipment fueling; storage and disposal of construction materials, products, and waste; and storage and disposal of hazardous and toxic materials; and sanitary waste facilities.
- The locations of the spill containment kits are identified as described below:

Date	Shown on Plan Sheet # (s)	Location	
Approved Plan			
REVISIONS TO LOCATIONS			
Date	Shown on Plan Sheet # (s)	Location	Operator(s) Initials

- The operator(s) shall notify the Department of Environmental Quality of leaks, spills, and other releases that discharge to or have the potential to discharge to surface waters immediately upon discovery of the discharge but in no case later than 24 after the discovery.
- The operator(s) shall notify the Department of Environmental Quality (DEQ) of leaks, spills, and other releases that discharge to or have the potential to discharge to surface waters immediately upon discovery of the discharge but in no case later than 24 after the discovery. Written notice of the discharge must be sent to DEQ and Henrico County Department of Public Works within five (5) days of the discovery.

Virginia Department of Environmental Quality NEED ADDRESS (804) 786-3998 (phone) (804) 786-1798 (fax) (800) 468-8892 (outside normal working hours)	Henrico County Department of Public Works P. O. Box 90775 Henrico, VA 23273 (804) 501-4393 (phone) (804) 501-7475 (fax)
---	---

EQUIPMENT / VEHICLE WASHING

- Washing must be conducted in a **dedicated area** that is located to maximize the distance from storm drain inlets, ditches, waterbodies or wetlands but no less than 50 feet from those features.
- All wash water used in vehicle wheel washing must be directed to a sediment basin/trap.
- All vehicle washing activities other than wheel washing must have secondary containment.
- Each facility must have appropriate signage to inform users where the **dedicated area(s)** are located.

Activity	Location of <i>Dedicated Area(s)</i>	Shown on Plan Sheet # <i>(s)</i>	Water Source Location	
Wheel Wash				
Other Wash Areas				
REVISIONS TO LOCATIONS				
Activity	Location of <i>Dedicated Area(s)</i>	Shown on Plan Sheet # <i>(s)</i>	Water Source Location	Operator's Initials

VEHICLE FUELING AND MAINTENANCE

- Conduct regular maintenance in a **dedicated area** that is located to maximize the distance from storm drain inlets, ditches, waterbodies or wetlands but no less than 50 feet from those features.
- If fueling is conducted at a **dedicated area**, the location must be located to maximize the distance from storm drain inlets, ditches, waterbodies or wetlands but no less than 50 feet from those features.
- The **dedicated areas** must be designed to eliminate the discharge of spilled and leaked fuels and chemicals from vehicle fueling and maintenance activities by providing secondary containment (spill berms, decks, spill containment pallets, providing cover where appropriate, and having spill kits readily available).
- Each facility must have appropriate signage to inform users where the **dedicated area(s)** are located.

Date	Shown on Plan Sheet #(s)	Location of <i>Dedicated Area(s)</i>	
Approved Plan	5	NEAR CE LOCATED ON LOT 1	
REVISIONS TO LOCATIONS			
Date	Shown on Plan Sheet #(s)	Location of <i>Dedicated Area(s)</i>	Operator's Initials

- If mobile fueling will be used, the fueling must be done in an area that located to maximize the distance from storm drain inlets, ditches, waterbodies or wetlands but no less than 50 feet from those features.
- Spill kits must be readily available at all mobile fueling locations.
- On-site storage tanks must have a means of secondary containment (spill berms, decks, spill containment pallets, etc.) and must be covered where appropriate.
- All vehicles on site must be monitored for leaks and receive regular preventive maintenance to reduce the chance of leakage.

DISCHARGE FROM STORAGE, HANDLING, AND DISPOSAL OF CONSTRUCTION PRODUCTS, MATERIALS, AND WASTE

- Storage of construction products, materials, and waste is to be conducted in **dedicated areas**.
- The **dedicated area** must be located to maximize the distance from storm drain inlets, ditches, waterbodies or wetlands but no less than 50 feet from those features. Separations of less than 50 feet may be approved by the Environmental Inspector.
- The **dedicated areas** must be designed to minimize the discharge of pollutants from storage, handling, and disposal of construction products, materials and wastes including (i) building products such as asphalt sealants, copper flashing, roofing materials, adhesives, concrete admixtures; (ii) pesticides, herbicides, insecticides, fertilizers, and landscape materials; and (iii) construction and domestic wastes such as packaging materials, scrap construction materials, masonry products, timber, pipe and electrical cuttings, plastics, Styrofoam, concrete and other trash or building products.
- Each facility must have appropriate signage to inform users where the **dedicated area(s)** are located.

Date	Shown on Plan Sheet # #(s)	Location(s) of <b><i>Dedicated Area(s)</i></b> for storage of construction products and materials	
Approved Plan			
REVISIONS TO LOCATIONS			
Date	Shown on Plan Sheet # #(s)	Location(s) of <b><i>Dedicated Area(s)</i></b> for storage of construction products and materials	Operator(s) Initials

Date	Shown on Plan Sheet # #(s)	Location(s) of <b>Dedicated Area(s)</b> for waste from construction products and materials	
Approved Plan			
REVISIONS TO LOCATIONS			
Date	Shown on Plan Sheet # #(s)	Location(s) of <b>Dedicated Area(s)</b> for waste from construction products and materials	Operator(s) Initials

- Follow all federal, state, and local requirements that apply to the use, handling and disposal of pesticides, herbicides, and fertilizers.
- Keep chemicals on-site in small quantities and in closed, well marked containers.
- Clean up solid waste, including building materials, garbage, and debris on a daily basis and deposit into covered dumpsters that are periodically emptied.
- Schedule waste collection to prevent exceeding the capacity of onsite containers. Additional containers may be necessary depending on the phase of construction (e.g., demolition, etc.).
- Dispose of all solid waste at an authorized disposal site.
- Ensure that containers have lids or are otherwise protected from exposure to precipitation.

DISCHARGES FROM OTHER POTENTIAL POLLUTANT SOURCES

- Discharges from other pollutant sources (e.g., water line flushing, storm sewer flushing, above ground storage tanks, etc.) not mentioned elsewhere must be addressed.

Other Potential Pollutant Sources	Location(s) of Potential Pollutant Sources

- Above ground oil storage tanks with a storage capacity exceeding 1,320 gallons and have a reasonable expectation of a discharge into or upon Waters of the United States are required to have a Spill Prevention Control and Countermeasure (SPCC) Plan.
- The discharge of contaminated flush water and material removed during flushing operations must be collected and disposed of in accordance with appropriate federal, state, and local requirements.

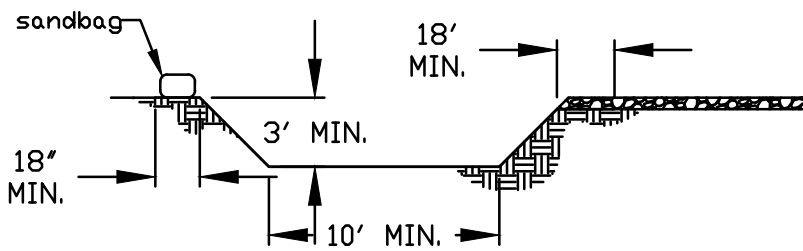
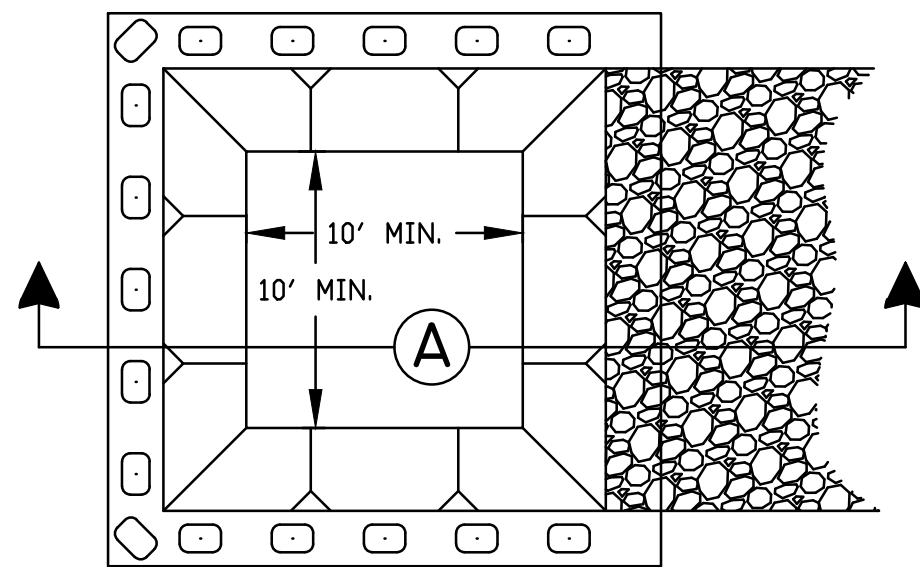
DISCHARGES FROM CONCRETE RELATED WASH ACTIVITIES

- Concrete trucks are not allowed to wash out or discharge surplus concrete or drum wash water on site except in a **dedicated area(s)** that is located to prevent discharge to storm drain inlets, ditches, waterbodies or wetlands but no less than 50 feet from those features.
- Each facility must have a stabilized access to prevent mud tracking into the street.
- Each facility must have appropriate signage to inform users where the **dedicated area(s)** are located.

Date	Shown on Plan Sheet #(s)	Location of <i>Dedicated Area(s)</i>	
Approved Plan	5	NEAR CE LOCATED ON LOT 1	
REVISIONS TO LOCATIONS			
Date	Shown on Plan Sheet #(s)	Location of <i>Dedicated Area(s)</i>	Operator's Initials

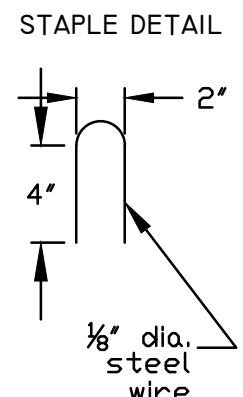
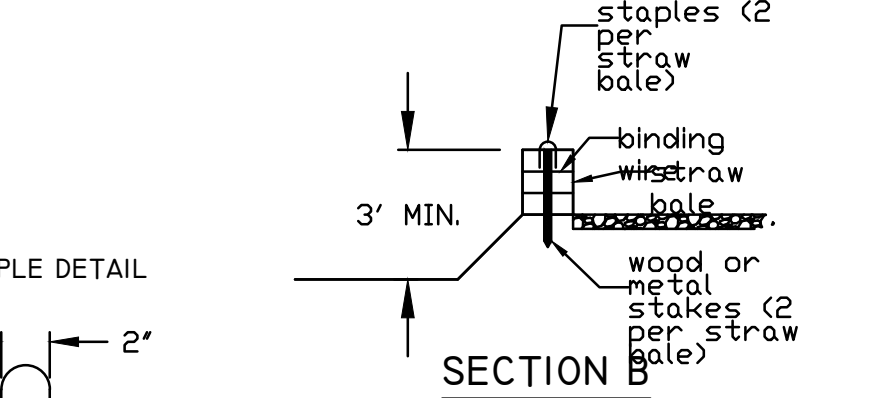
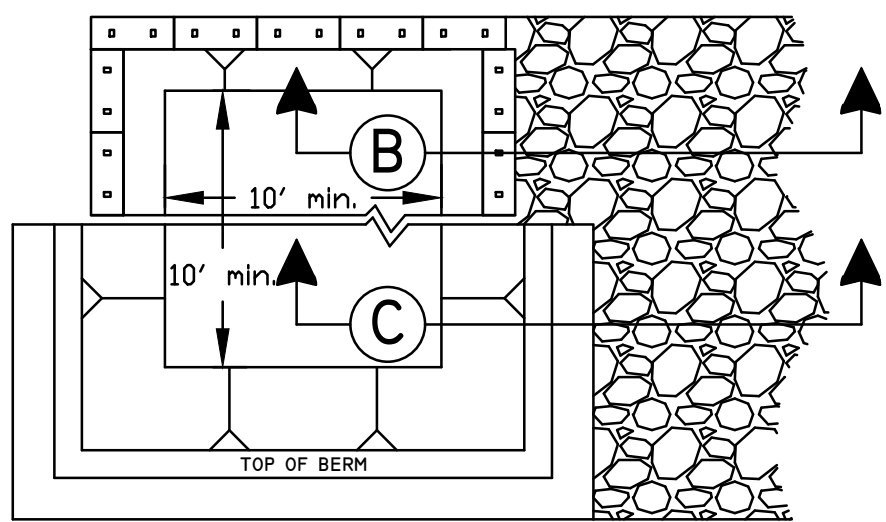
- Facilities must be cleaned, or new facilities constructed, once the washout area is two-thirds (2/3) full.

BELOW GRADE CONCRETE WASHOUT AREA



SECTION A

ABOVE GRADE CONCRETE WASHOUT AREA



SECTION C

CONCRETE WASHOUT AREA NOTES

- The facility must be lined with 10 mil plastic lining that is free from holes, tears, or other defects that might compromise the material's impermeability.
- The lining must be anchored with staples (2' spacing) or sandbags.
- Side slopes must be 1:1 (horizontal:vertical) or flatter.
- Stone access must be provided between the street and the concrete washout area.
- A "Concrete Washout" sign must be installed within 30 feet of the washout facility. The sign must be no smaller than 2' tall by 4' wide.

DISCHARGES OF SOAPS, DETERGENTS, SOLVENTS, AND WASH WATER FROM CONSTRUCTION ACTIVITIES SUCH AS CLEANUP OF STUCCO, PAINT, FORM RELEASE OILS, AND CURING COMPOUNDS

- Washing activities associated with construction activities other than vehicle and equipment washing, such as clean up of stucco, paint, form release oils, and curing compounds are to be conducted in a **dedicated area**.
- The **dedicated area** must be located to maximize the distance from storm drain inlets, ditches, waterbodies or wetlands but no less than 50 feet from those features. Separations of less than 50 feet may be approved by the Environmental Inspector.
- The **dedicated areas** must be designed to prevent the discharge of soaps, detergents, solvents, and wash water.

Date	Shown on Plan Sheet # (s)	Location(s) of <b>Dedicated Area(s)</b>	
Approved Plan	5	NEAR CE LOCATED ON LOT 1	
REVISIONS TO LOCATIONS			
Date	Shown on Plan Sheet # (s)	Location(s) of <b>Dedicated Area(s)</b>	Operator(s) Initials

- The **dedicated area** must be covered (e.g., plastic sheeting, temporary roof, etc.) to prevent contact with stormwater.
- The contaminated wastewater from the **dedicated area** must be collected for disposal by a waste hauler or discharged to the sanitary sewer.
- In situations where these pollutants are or could be generated at locations other than at the **designated area** (e.g., concrete pours, building washing, etc.), cover (e.g., plastic sheeting, temporary roof, etc.) must be provided to prevent contact with stormwater and the contaminated wastewater from the activity must be collected for disposal by a waste hauler or discharged to the sanitary sewer.

DISCHARGES OF HAZARDOUS, TOXIC, AND SANITARY WASTE

- Storage and disposal of hazardous, toxic and sanitary wastes are to be conducted in **dedicated areas**.
- The **dedicated areas** must be located to maximize the distance from storm drain inlets, ditches, waterbodies or wetlands but no less than 50 feet from those features. Separations of less than 50 feet may be approved by the Environmental Inspector.
- The **dedicated areas** must be designed to prevent the discharge of hazardous, toxic and sanitary waste by avoiding contact with precipitation.
- Each facility must have appropriate signage to inform users where the **dedicated area(s)** are located.

Date	Shown on Plan Sheet # (s)	Location(s) of <b>Dedicated Area(s)</b> for storage and disposal of hazardous and toxic wastes	
Approved Plan	5	NEAR CE LOCATED ON LOT 1	
REVISIONS TO LOCATIONS			
Date	Shown on Plan Sheet # (s)	Location(s) of <b>Dedicated Area(s)</b> for storage and disposal of hazardous and toxic wastes	Operator(s) Initials

Date	Shown on Plan Sheet # (s)	Location(s) of <b><i>Dedicated Area(s)</i></b> for portable toilets	
Approved Plan			
REVISIONS TO LOCATIONS			
Date	Shown on Plan Sheet # (s)	Location(s) of <b><i>Dedicated Area(s)</i></b> for portable toilets	Operator(s) Initials

- Consult with local waste management authorities or private firms about the requirements for disposing of hazardous materials and/or soils that may be contaminated with hazardous materials.
- Never remove the original product label from the container. Follow the manufacturer's recommended method of disposal.
- Schedule periodic pumping of portable toilets and dispose of waste
- Dispose of all solid waste at an authorized disposal site.

SWPPP MODIFICATIONS AND REVISIONS

The operator(s) shall ensure the SWPPP is modified and/or revised to reflect:

- Changes in qualified personnel; delegated authorities or other personnel required as a condition of the General Construction Permit;
- Changes in site conditions;
- Changes in the design, construction, operation, or maintenance of the construction site that affect the potential for discharges of pollutants that are not addressed in the normal implementation of the plan; and
- Ineffective control measures identified during inspections or investigations conducted by the operator's qualified personnel or local, state or federal officials.

Modifications/revisions to the SWPPP shall include additional or modified control measures to address the identified deficiencies.

If the necessary modifications/revisions require approval by the Administrator or DEQ, the modifications/revisions must be implemented no later than seven (7) calendar days following approval.

If the necessary modifications/revisions do not require approval by the Administrator, the modifications/revisions must be implemented prior to the next anticipated storm event or as soon as practicable.

SWPPP UPDATES

The operator(s) shall update the SWPPP to include:

- A record of dates when 1) major grading activities occur, 2) construction activities temporarily or permanently cease on a portion of the site, and 3) stabilization measures are initiated.
- Documentation of modifications and revisions to the SWPPP;
- Areas that have reached final stabilization where no further SWPPP or inspection requirements apply;
- All properties that are no longer under the legal control of the operator and the dates on which the operator no longer had legal control over each property; and
- The date, volume, and corrective/preventative actions implemented for any prohibited discharge.

The operator(s) shall update the SWPPP no later than seven (7) days following any of the situations identified above.

OPERATOR INSPECTIONS

The operator(s) identified below shall provide for inspections of the permitted land-disturbing activities by the qualified personnel identified below. The inspections will be conducted (select one the following options):

- at least once every four (4) business days; or
- at least once every five (5) business days and no later than 48 hours following any measurable storm event.

Where areas are in a stabilized condition or runoff is unlikely due to winter conditions, the inspection frequency may be reduced to once every 30 days while these conditions exist. Otherwise, the operator(s) shall resume the regular inspection frequency identified above.

The operator(s) shall provide for inspections of the permitted land-disturbing activity to ensure implementation and continued maintenance of all requirements of the Stormwater Pollution Prevention Plan (Erosion and Sediment Control Plan, Stormwater Management Plan, Pollution Prevention Plan, TMDL requirements, etc.).

Records of the required inspections must be maintained and included in the SWPPP binder. The qualified personnel are encouraged to use the Operator Inspection form provided in the SWPPP binder to document the required inspections. If inspections are conducted once every five (5) business days and no later than 48 hours following any measurable storm event, the location of the rain gauge used to determine the amount of rain must be included in the SWPPP and documented in the inspection report.

ACKNOWLEDGEMENTS

I certify under penalty of law that the qualified personnel identified below:

- a. has been designated by the Operator to conduct inspections of the permitted site;
- b. is knowledgeable in the principles and practices of erosion and sediment control and stormwater management;
- c. possesses the skills to assess conditions at the permitted site for the Operator(s) that could impact stormwater quality and quantity;
- d. will assess the effectiveness of any erosion and sediment control measures or stormwater management facilities selected to control the stormwater discharges from the permitted site; and
- e. will conduct inspections in accordance with the frequency noted above in the OPERATOR INSPECTIONS section of this sheet.

QUALIFIED PERSONNEL	
Name (print)	
Phone	
Additional information is located in Tab 6 of the SWPPP Binder.	

As the Operator(s) or Delegated Authority, I/we understand that prior to initiating land disturbance, the potential pollutant sources, appropriate control measures, and all responsible parties (operator, qualified inspection personnel, contractors, etc.) required as a condition of the General Construction Permit (GCP) and the Stormwater Pollution Prevention Plan (SWPPP) must be identified. I also understand this information must be updated as necessary throughout all phases of construction until the GCP is terminated.

Furthermore,

I/we certify under penalty of law that I/we have read and understand all requirements of the SWPPP (erosion and sediment control plan, stormwater management plan, pollution prevention plan, TMDL provisions, administrative requirements, etc.) and GCP and that the information herein is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine or imprisonment for knowing violations.

I/we understand that I/we are ultimately responsible for compliance with all conditions and requirements of the SWPPP and GCP and for ensuring all contractors and subcontractors on the permitted site are aware of the conditions and requirements of the SWPPP and GCP.

I/we shall comply with all conditions and requirements of the SWPPP and shall at all times properly operate and maintain all measures and control (and related appurtenances) which are installed or used to achieve compliance with the conditions of the GCP. Proper operation and maintenance also includes adequate funding and adequate staffing.

I/we shall take all reasonable steps to minimize or prevent any discharge in violation of the SWPPP and/or GCP.

I/we understand that if it determined by the Department of Environmental Quality (DEQ) in consultation with the State Water Control Board at any time that stormwater discharges are causing, have reasonable potential to cause, or contribute to and excursion above any applicable water quality standard, the DEQ may, in consultation with the Administrator, take appropriate enforcement action and require:

- Modification of control measures to adequately address water quality concerns;
- Submission of valid and verifiable data and information that are representative of ambient conditions and indicate that the receiving water is attaining water quality standards; or
- Cessation of discharges of pollutants from construction activity and submit an individual permit application according to 4VAC25-870-410.

OPERATOR(S) / DELEGATED AUTHORITY		
Name (print)	Signature	Date

Additional contact information can be found in the SWPPP Binder.



www.balzer.cc

Richmond  
New River Valley  
Roanoke  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

15871 City View Drive

Suite 200

Midlothian, VA 23113

804-794-0571

FAX 804-794-2635



FOXHILL CROSSING  
SUBDIVISION  
POLLUTION PREVENTION PLAN  
VARINA DISTRICT  
HENRICO COUNTY, VIRGINIA

DRAWN BY BMS

DESIGNED BY BMS

CHECKED BY FCP

DATE 8-17-17

SCALE N/A

REVISIONS:  
01-17-18

SHEET NO.

14 of 14

JOB NO. C0700426.01