



CONCEPTUAL SITE DESIGN REPORT

404 & 408 19th Street, Virginia Beach, Virginia 23451
Lots 21, 22, & 23, Block C, and a 10' x 108' Portion of 10' R/W (D.B. 2035, PG. 233) Property of Virginia Beach Park Corp. (M.B. 8, on Pg. 5)

Existing Conditions:

- 17,880 sq. ft. lot area (total)
 - Lot 21 – 5,600 sq. ft.
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 - 10' x 108' Portion of 10' R/W – 1,080 sq. ft.
- Five (5) 1 or 1.5 Story Single-Family Dwellings (5 Units) and one (1) shed
- Approximate construction date 1941
- 13 on-site parking spaces, 10 required.
 - 404 19th Street – 5 parking spaces
 - 408 19th Street – 8 parking spaces
- Buildings and setbacks are considered non-conforming uses
- Flood Zone – site is located in Flood Zone 'X' which is located outside of any FEMA designated special flood hazard area

Development Options:

This site zoning is **Oceanfront Resort (OR)**, which is a Form-based code zoning in Virginia Beach that focuses on regulating land development to achieve a specific urban form, emphasizing building and landscape design over the separation of commercial and residential land uses.

The site is located in the **Central Beach District** (Shopping Frontage) subdistrict, and is identified by entertainment and retail uses.

The **Shopping Frontage** is intended for the most walkable places in the Resort Area, with a focus on pedestrian movement and activity. Development will typically include mixed-use buildings with active uses on the ground floor and office, residential, or hotel uses in the upper stories.

Building Types Allowed in Shopping Frontage:

Mixed-Use Buildings, Apartment Buildings, Row Houses, & Civic Buildings (see zoning attachments for building styles)

Building Height: 75' (max) – Limited to four (4) stories for Row Houses

Setbacks

Front Setback 5': All buildings must set back at least five feet from the public right-of-way. Intended for areas where inadequate sidewalk width currently exists. The five foot setback can serve as an extension to the existing sidewalk and must meet all City and ADA specifications for the construction of sidewalks.

Side and Rear – refer to charts per Building types

Mixed-Use Building: The area supports a mix of retail, dining, and entertainment options. Mixed-Use buildings should contain commercial uses on the ground floor with residential, lodging, office, conference, or other commercial uses located on the floors above.

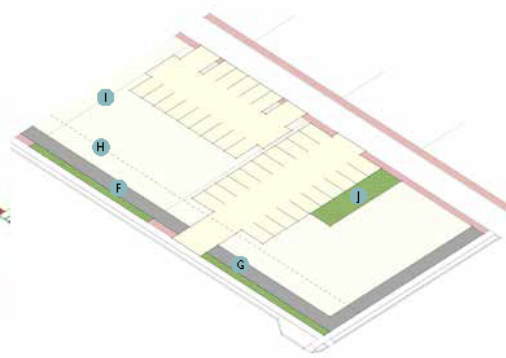
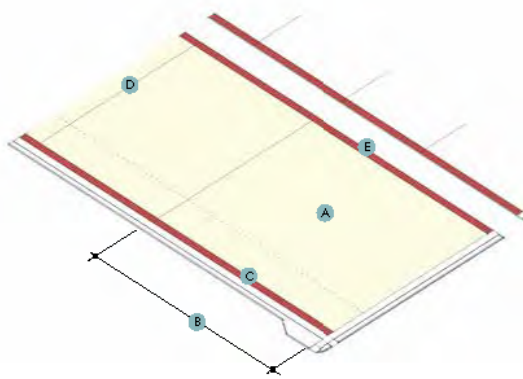
- As defined by the ordinance above, there are several options, the potential best use in this location would be office/retail on the 1st floor, potentially office on the 2nd floor with some residential units on the floors above. The maximum height for these units will be 75' per the location. Based on parking for the residential units, there appears to be available room for twelve (12) surface parking spaces, which could yield a potential for eight (8) to ten (10) residential units over the mixed use. (parking for the residential units would be partial on-site as well as contracting a Remote (Off-Site) Parking)
 - A formal design study would be required to confirm development yields and ultimate project parameters (Additional residential/office units could be yielded with a potential parking garage)



Mixed-Use Building

Chapter 2. Frontages & Building Types
 Sec. 2.5 Mixed-Use Building

Sec. 2.5 Mixed-Use Building



Lot Criteria

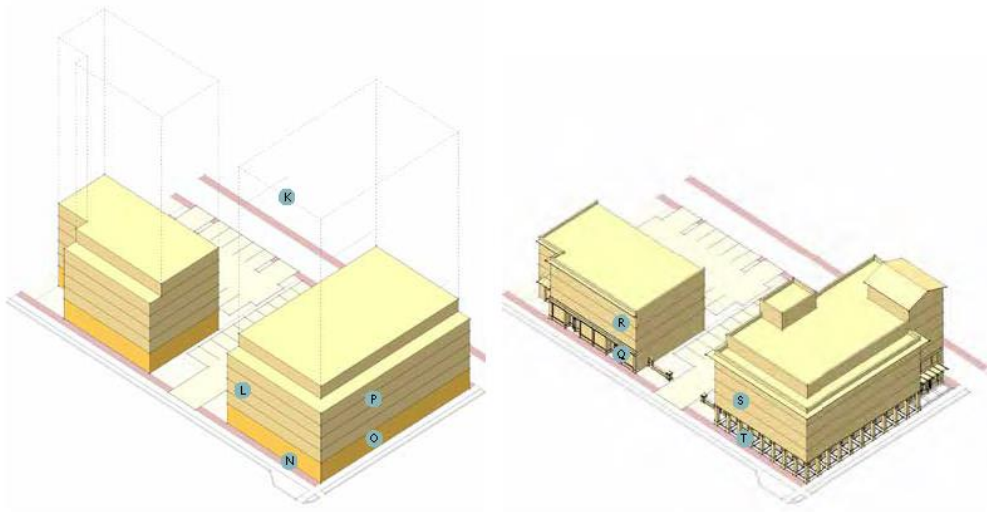
Lot Dimensions		
A	Area (min)	5,000 sq. ft.
B	Width (min)	50'
Building Setbacks		
C	*Building Setback, street (min)	Varies, see Chapter 3
D	Building Setback, side or rear - common lot line (min)	0'
D	Building Setback, side or rear - protected district (min)	10'
E	Building Setback, alley (min)	5'

*To meet foundation landscaping requirements, ensure that at least 66% of the width of all building facades adjacent to a street is set back no less than 3' from the ROW.

**To meet street frontage landscaping requirements, ensure that surface parking lots and parking structures adjacent to a street are set back at least 10' from the ROW.

Placement

Build-to Zone		
Build-to zone (min/max)		
F	BW & CP Frontage.....	N/A
	All other Frontages.....	street setback plus 10'
Percentage of lot width on which build-to zone applies (min)		
G	BW & CP Frontage.....	N/A
	SH Frontage.....	70%
	All other Frontages.....	60%
Parking Location		
H	**Parking Setback, street (min)	street setback plus 20'
Percentage of lot width on which parking setback applies (min)		
H	BW & CP Frontage.....	100%
	SH Frontage.....	70%
	GW Frontage.....	60%
	BE Frontage.....	0% Structured/ 60% Surface
I	Parking Setback, rear or side, common lot line (min)	0'
I	Parking Setback, rear or side, protected district (min)	10'
Outdoor Amenity Space		
J	% of lot area (min)	15%



Height

Building Height	
K	Building height (max) Varies, see Chapter 4
L	Building height (min) 2 stories/25'
Story Height	
N	Ground story finished floor elevation (min) 0'
O	Ground story height, floor to floor (min) 14'
P	Upper story height, floor to floor (min) 10'

Form

Transparency	
Q	Ground story (min) 30%
R	Upper story (min) 15%
S	Blank wall (max) 30'
Entrances	
T	Street-facing entrance Required for primary entrance

Apartment Building:

A multistory building containing five or more dwelling units that are vertically and horizontally integrated. Nonresidential uses other than those accessory to the dwelling units are not permitted.

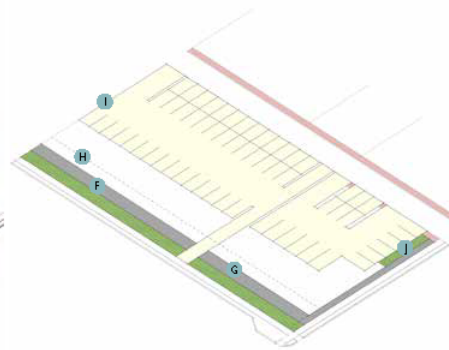
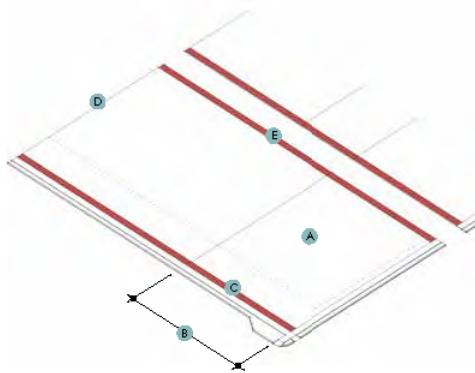
- As defined by the ordinance above, this site allows for apartment use, and may potentially yield eight (8) to ten (10) residential units with surface parking on-site. The potential for raising a portion of the building in the rear with parking underneath could yield additional residential units.
 - A formal design study would be required to confirm development yields and ultimate project parameters



Apartment Building

Chapter 2. Frontages & Building Types
 Sec. 2.7 Apartment Building

Sec. 2.7 Apartment Building



Lot Criteria

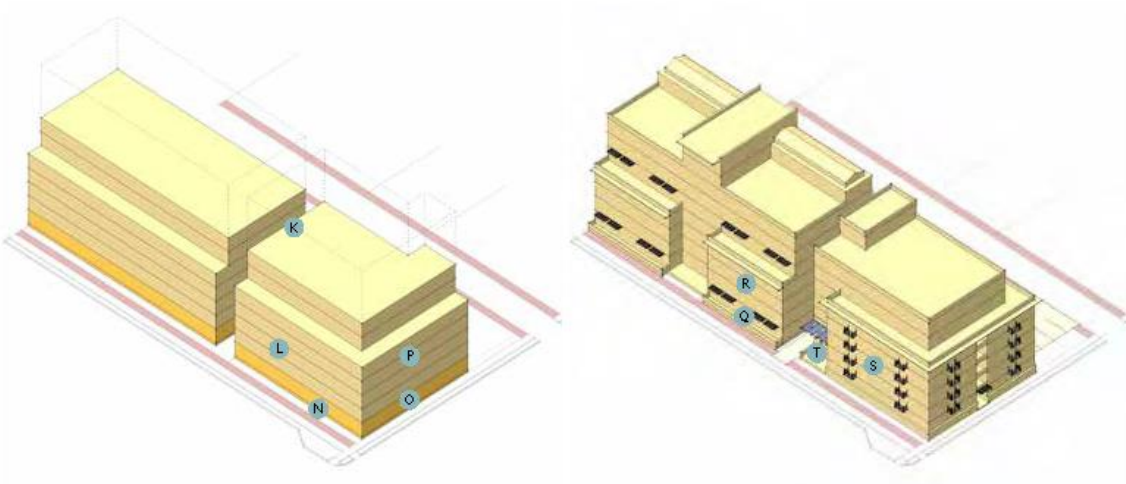
Lot Dimensions	
A Area (min)	5,000 sq. ft.
B Width (min)	50'
Building Setbacks	
C *Building Setback, street (min)	Varies, see Chapter 3
D Building Setback, side or rear - common lot line (min)	5'
D Building Setback, side or rear - protected district (min)	10'
E Building Setback, alley (min)	5'

*To meet foundation landscaping requirements, ensure that at least 66% of the width of all building facades adjacent to a street is set back no less than 3' from the ROW.

**To meet street frontage landscaping requirements, ensure that surface parking lots and parking structures adjacent to a street are set back at least 10' from the ROW.

Placement

Build-to Zone	
F Build-to zone (min/max)	street setback plus 15'
G Percentage of lot width on which build-to zone applies (min)	60%
Parking Location	
H **Parking Setback, street (min)	street setback plus 20'
Percentage of lot width on which parking setback applies (min)	
H BW & CP Frontage.....	100%
SH Frontage.....	70%
GW Frontage.....	60%
BE Frontage.....	0% Structured/ 60% Surface
I Parking Setback, rear or side, common lot line (min)	0'
I Parking Setback, rear or side, protected district (min)	10'
Outdoor Amenity Space	
J % of lot area (min)	20%



Height

Building Height	
K Building height (max)	Varies, see Chapter 4
L Building height (min)	25'
Story Height	
N Ground story finished floor elevation (min)	1.5'
O Ground story height, floor to floor (min)	12'
P Upper story height, floor to floor (min)	10'

Form

Transparency	
Q Ground story (min)	15%
R Upper story (min)	15%
S Blank wall (max)	40'
Entrances	
T Street-facing entrance	Required for primary entrance

Row Houses

A multistory building having a maximum of four stories and containing two or more dwelling units, attached at the side or sides in a series, and separated vertically by a shared wall. A row house may contain ground story commercial uses with residential uses above.

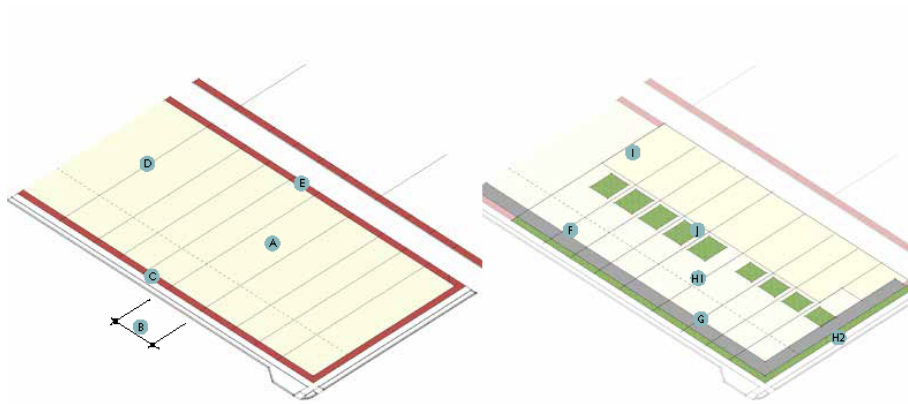
- As defined by the ordinance above, the potential development should be able to yield eight (8) units (four (4) unit row house per lot) with resubdividing these lots into two (2) lots, having a shared center drive aisle with surface parking in the rear of the buildings
 - A formal design study would be required to confirm development yields and ultimate project parameters



Row House Building

Chapter 2. Frontages & Building Types
 Sec. 2.8 Row House

Sec. 2.8 Row House



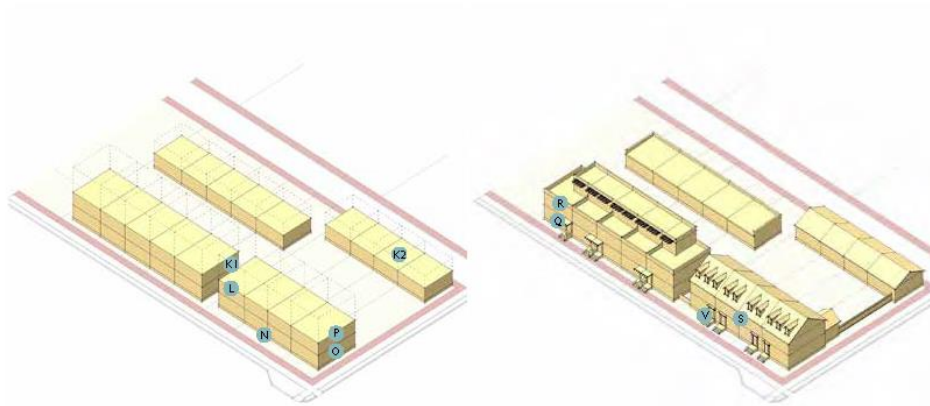
Lot Criteria

Lot Dimensions	
A	Area (min) 1,500 sq. ft.
B	Width (min) 20'
Building Setbacks	
C	*Building Setback, street (min) 5'
D	Building Setback, side - common lot line (min)
	Interior units 0'
	End units 5'
D	Building Setback, rear - common lot line (min) 0'
D	Building Setback, side or rear - protected district (min) 10'
E	Building Setback, alley (min) 5'

**To meet foundation landscaping requirements, ensure that at least 66% of the width of all building facades adjacent to a street is set back no less than 3' from the ROW.*

Placement

Build-to Zone	
F	Build-to zone (min/max) street setback plus 20'
G	Percentage of lot width on which build-to zone applies (min) 70%
Parking Location	
H	Parking Setback, primary street (min) N/A
<i>No parking or driveways are permitted between the front of the building and the street.</i>	
<i>For row houses that incorporate individual garages, the garage must be placed behind the unit and be rear-accessed. Front-loaded row houses are not allowed.</i>	
H2	Parking Setback, side street (min) street setback plus 5'
I	Parking Setback, rear or side, common lot line (min) 0'
I	Parking Setback, rear or side, protected district (min) 10'
Outdoor Amenity Space	
J	% of lot area (min) 20%



Height

Building Height	
K1	Building height, principal structure (max) 35' or 45', see Chapter 4
K2	Building height, accessory structure (max) 25'
L	Building height (min) 20'
Story Height	
N	Ground story finished floor elevation (min) 2'
O	Ground story height, floor to floor (min) 10'
P	Upper story height, floor to floor (min) 9'

Form

Transparency	
Q	Ground story (min) 15%
R	Upper story (min) 15%
S	Blank wall (max) N/A
Entrances	
T	Street-facing entrance Required for each unit's primary entrance

Permitted Use Table

Chapter 5. Use
Sec. 5.2 Permitted Use Table

Sec. 5.2 Permitted Use Table

USE	MIXED-USE BUILDING		COMMERCIAL BUILDING	APARTMENT BUILDING	ROW HOUSE		DETACHED HOUSE	CIVIC BUILDING	Use Standard /Notes
	Ground Floor	Upper Floors	Ground Floor	All Floors	Ground Floor	Upper Floors	All Floors	All Floors	
RESIDENTIAL									
Backyard Cottage	--	--	--	--	--	--	L	--	See Sec. 5.3.1
Dwelling, single-family, detached or attached	--	--	--	--	P	P	P	--	
Dwelling, multi-family	--	L	--	P	--	--	--	--	See Sec. 5.3.2
Family day-care home	--	--	--	--	--	--	C	--	
Group home	--	--	--	--	C	C	C	--	
Home Occupation	--	L	--	L	L	L	L	--	See Sec. 234
Housing for seniors, disabled persons	--	L	--	L	L	L	L	--	See Sec. 235
Live-work units	L	L	L	--	--	--	L	--	See Sec. 209.3
Single room occupancy (SRO) facility	--	C	--	C	--	--	--	--	See Sec. 241.1
LODGING									
Bed & breakfast inn	--	--	--	--	C	C	C	--	See Sec. 225.1
Home sharing	--	L	--	--	L	L	L	--	See Sec. 209.6
Hotel, motel	L	L	--	--	--	--	--	--	See Sec. 5.3.3
Short term rental	--	--	--	--	--	--	--	--	See Sec. 241.2
Short term rental within an STR Overlay District meeting the requirements of section 241.2 and, where applicable, section 2303	--	C	--	--	C	C	C	--	See Sec. 241.2 & Sec. 2303 (c)
COMMERCIAL									
Bar, nightclub	C	C	C	--	--	--	--	--	See Sec. 5.3.4
Bicycle rental establishment	C		C	--	--	--	--	--	See Sec. 5.3.5
Business studio, office	P	P	P	--	P	--	P	P	
Child care, child care education centers	P	P	P	--	--	--	C	--	
Cinema, theater	P	P	P	--	--	--	--	--	
Commercial parking lot	--	--	--	--	--	--	--	--	See Sec. 5.3.6 & Sec. 23-58
Commercial parking lot, temporary	--	--	--	--	--	--	--	--	See Sec. 5.3.7
Craft breweries, distilleries, wineries	C	C	C	--	--	--	C	--	See Sec. 230
Drive-through facility	L	--	L	--	--	--	--	--	See Sec. 5.3.8
Eating and drinking establishment	L	L	L	--	C	--	C	--	See Sec. 5.3.9
Financial institution	P	--	P	--	--	--	C	--	
Funeral home	P	--	P	--	--	--	P	--	
Hospital	C	C	--	--	--	--	--	C	
KEY: P = Permitted L = Use Standard Applies C = Conditional Use Permit Required -- = Not Permitted									

Chapter 5. Use
Sec. 5.2 Permitted Use Table

USE	MIXED-USE BUILDING		COMMERCIAL BUILDING	APARTMENT BUILDING	ROW HOUSE		DETACHED HOUSE	CIVIC BUILDING	Use Standard /Notes
	Ground Floor	Upper Floors	Ground Floor	All Floors	Ground Floor	Upper Floors	All Floors	All Floors	
Medical clinic, office	P	P	P	--	P	--	P	--	
Off-site parking facilities	--	--	--	--	--	--	--	--	L, See Sec. 23-59
Open air market	--	--	--	--	--	--	--	--	C, See Sec. 239.03
Parking structure, parking garage	L	L	--	L	L	--	--	L	See Sec. 2.4.3 (B)
Passenger transportation terminal	C	--	C	--	--	--	--	C	
Personal service	P	P	P	--	P	--	P	--	
Radio, television broadcasting station	--	--	P	--	--	--	--	P	
Recreation facility, indoor	P	P	P	--	--	--	--	P	
Recreation facility, outdoor	--	--	--	--	--	--	--	--	C
Retail establishment	L	L	L	--	L	--	L	--	See Sec. 5.3.13
Satellite wagering facility	C	C	C	--	--	--	--	--	
Repair establishment (other than motor vehicle)	P	--	P	--	--	--	--	--	
Specialty shop	L	L	L	--	L	--	L	--	See Sec. 5.3.13
INSTITUTIONAL									
Assembly use	C	C	C	--	--	--	--	C	
Museums, art gallery	L	L	L	--	L	--	L	L	See Sec. 223.1
Religious use	C	C	C	--	--	--	C	C	
OTHER									
Art studio	P	P	P	--	P	P	P	--	
Building-mounted antenna	--	L	L	L	L	L	L	L	See Sec. 207 & Sec. 5.3.16
Communication tower	--	--	--	--	--	--	--	--	C; see Sec. 232
Communication tower, temporary, meeting the requirements of Sec. 207	--	--	--	--	--	--	--	--	L; see Sec. 207
Communication tower, temporary, other than those meeting the requirements of Sec. 207	--	--	--	--	--	--	--	--	C; see Sec. 207
Craft industry	L	L	L	--	L	L	L	--	See Sec. 5.3.18
Creative event	--	--	--	--	--	--	--	--	L; See Sec. 9-10
Heliport, helistop	--	C	--	--	--	--	--	C	
Public utilities, public utility storage, maintenance	--	--	--	--	--	--	--	--	See Sec. 5.3.14
Small wireless facility	L	L	L	L	L	L	L	L	See Sec. 207, 232, & 5.3.17
Wind energy conversion systems	--	L	L	L	L	L	L	L	See Sec. 5.3.15
KEY: P = Permitted L = Use Standard Applies C = Conditional Use Permit Required -- = Not Permitted									